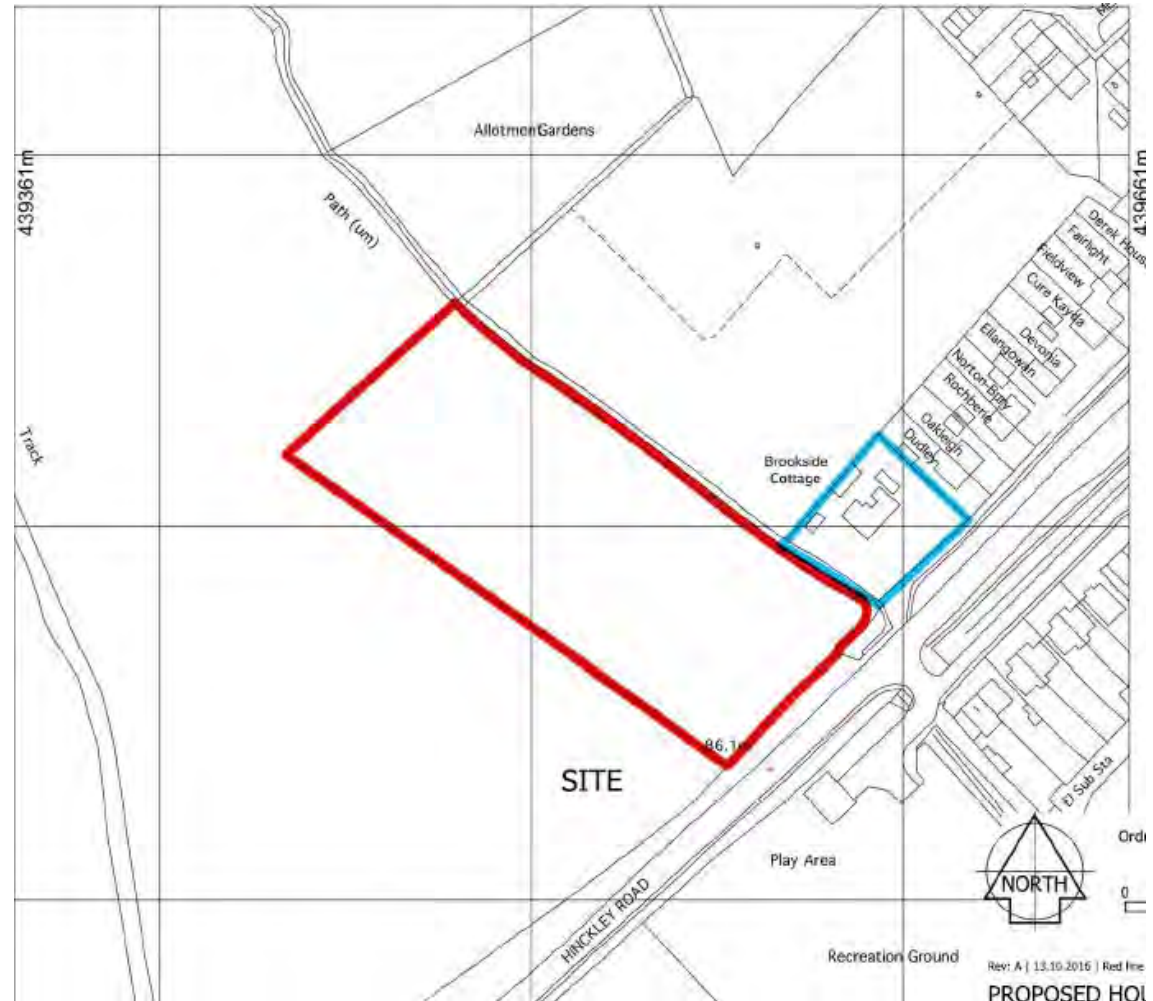
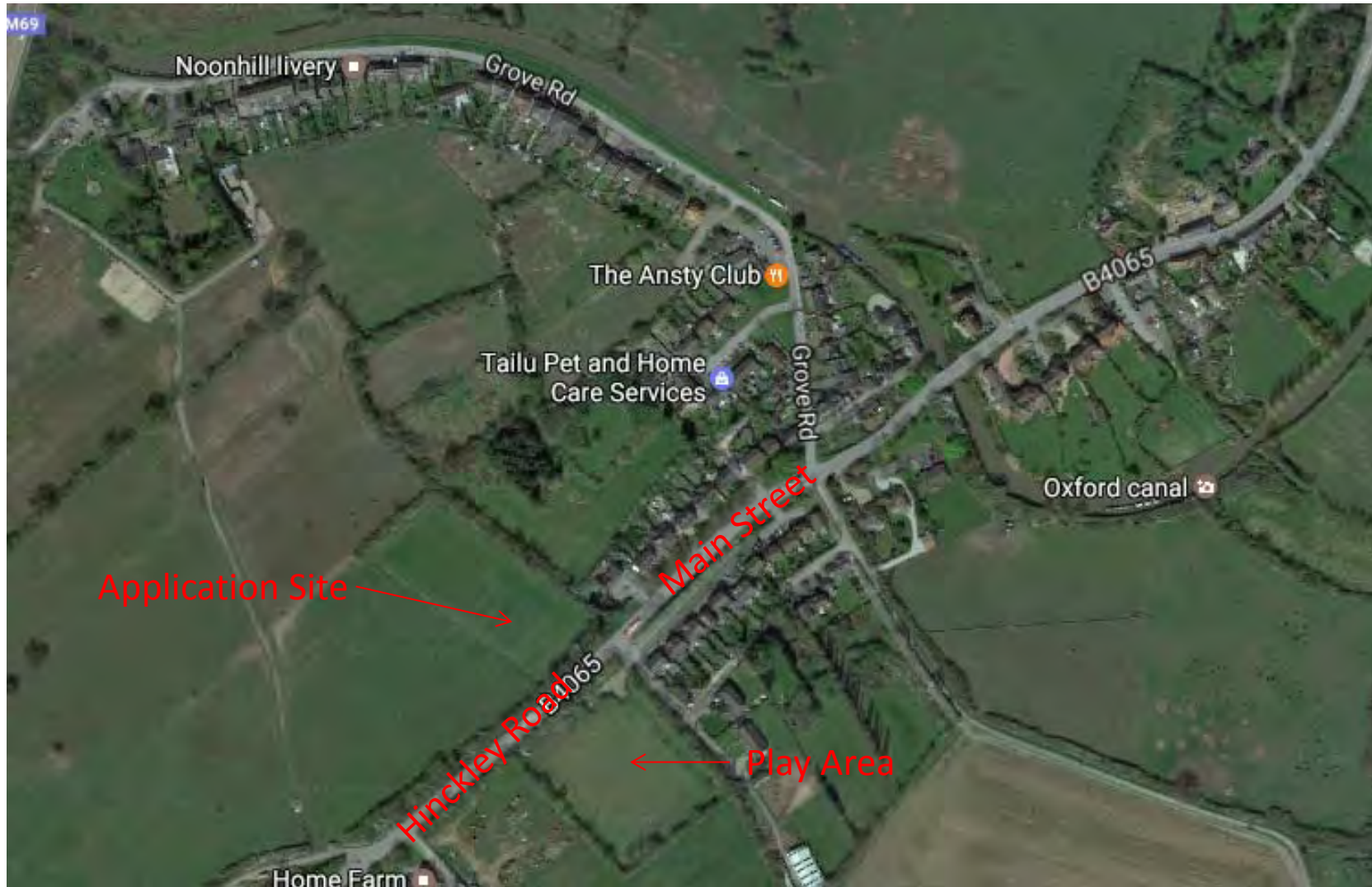


# R16/2058 Land adj. to Brookside, Hinckley Road, Ansty

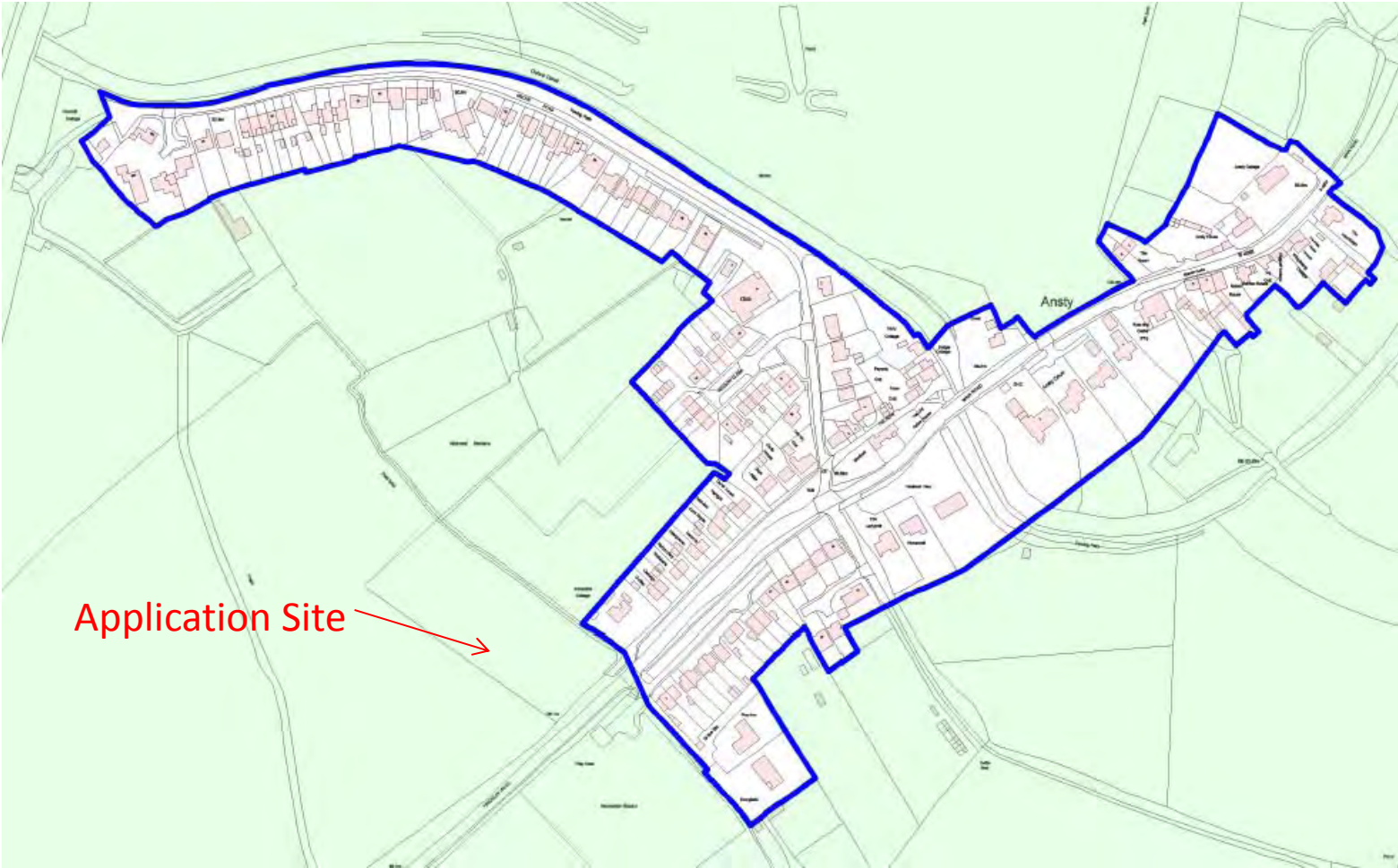
**Outline planning permission for the erection of 16 residential dwelling house including 4 local needs dwelling (all matters reserved except access).**



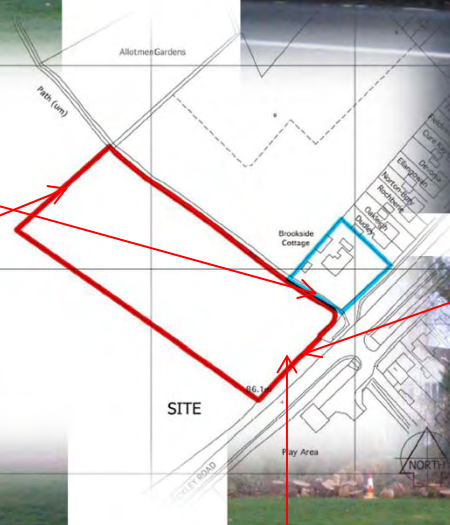
# Aerial Photo



# Ansty Village Plan



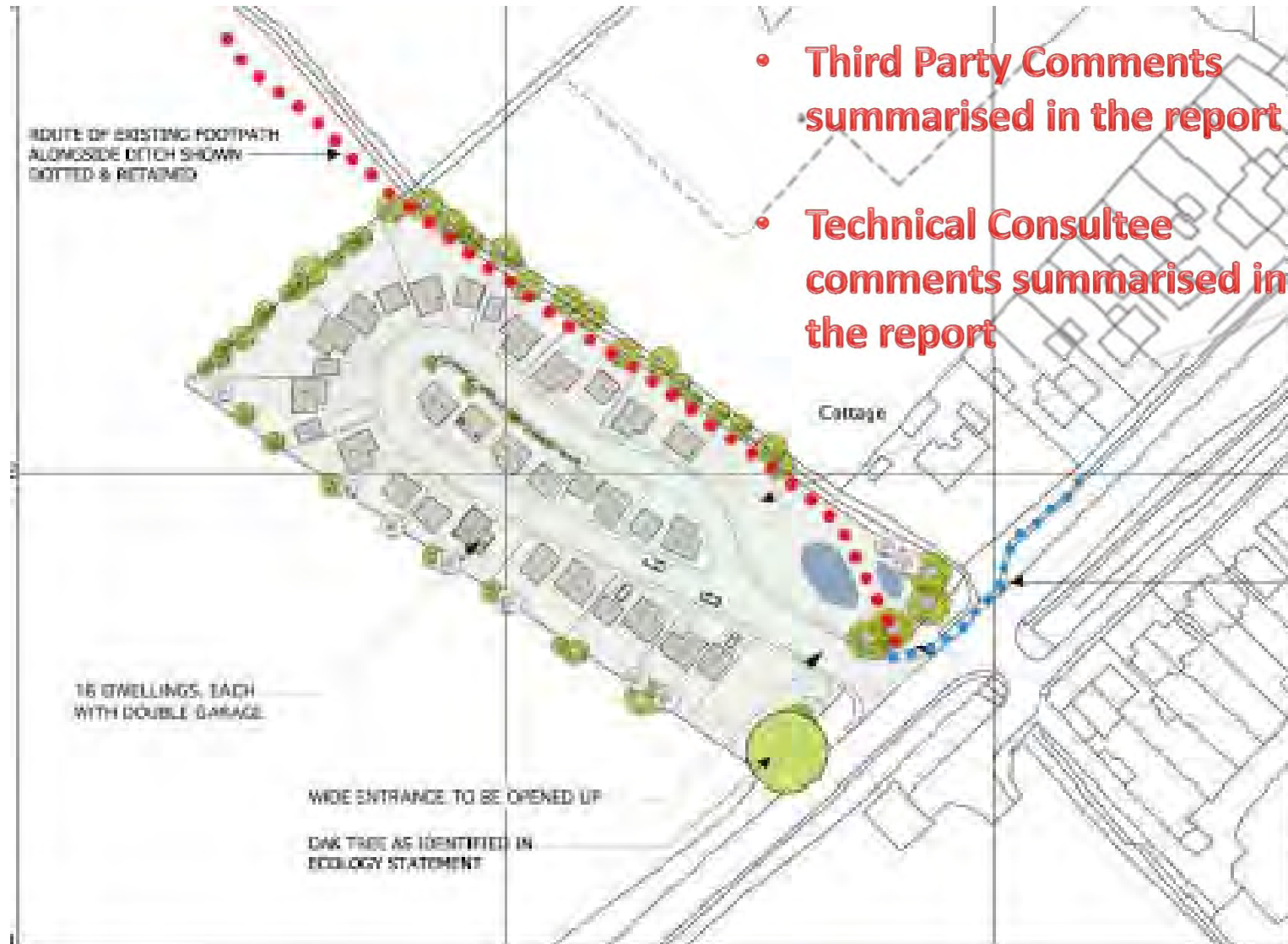
# Photos



# Photos



# Proposal



# Principle

## REASON FOR REFUSAL 1



- **Green Belt**
- **Inappropriate Development**
- **No presumption in favour of Sustainable Development**
- **No 'very special circumstances' to outweigh harm**
- **Contrary to policy CS1 and the NPPF**
- **Conflicts with the purposes of including land within the Green Belt**

# Character and Appearance and Openness

## REASON FOR REFUSAL 2



- **Would not reflect the existing pattern of development within the area**
- **Adverse impact upon the character and appearance**
- **Erode the open character of the area**
- **The loss of openness considered significant**
- **Conflict with policy CS16 and the NPPF.**



# GREEN INFRASTRUCTURE NETWORK

## REASON FOR REFUSAL 3

- **Site within a Green Infrastructure Network.**
- **The term 'green infrastructure' is multi-functional and has many facets that contribute to it, landscape being one.**
- **The proposed development would fail to protect and enhance this Green Infrastructure Network contrary to policy CS14.**



## Public Right of Way REASON FOR REFUSAL 4

- As existing, from this public right of way, open views of the countryside can be obtain and appreciated.
- The proposed development would cause an urbanising effect upon views from the public footpath
- The adverse visual effects seen from the right of way would be significant
- The applicants have failed to demonstrate how the existing public right of way would be enhanced.



## Flooding REASON FOR REFUSAL 5

- **Insufficient information has been submitted to demonstrate that ground raising and surface water flood compensation can be provided within the scheme.**
- **Conflict with Policy CS16 of the Core Strategy and policy GP2 of the Local Plan and guidance contained within the NPPF.**

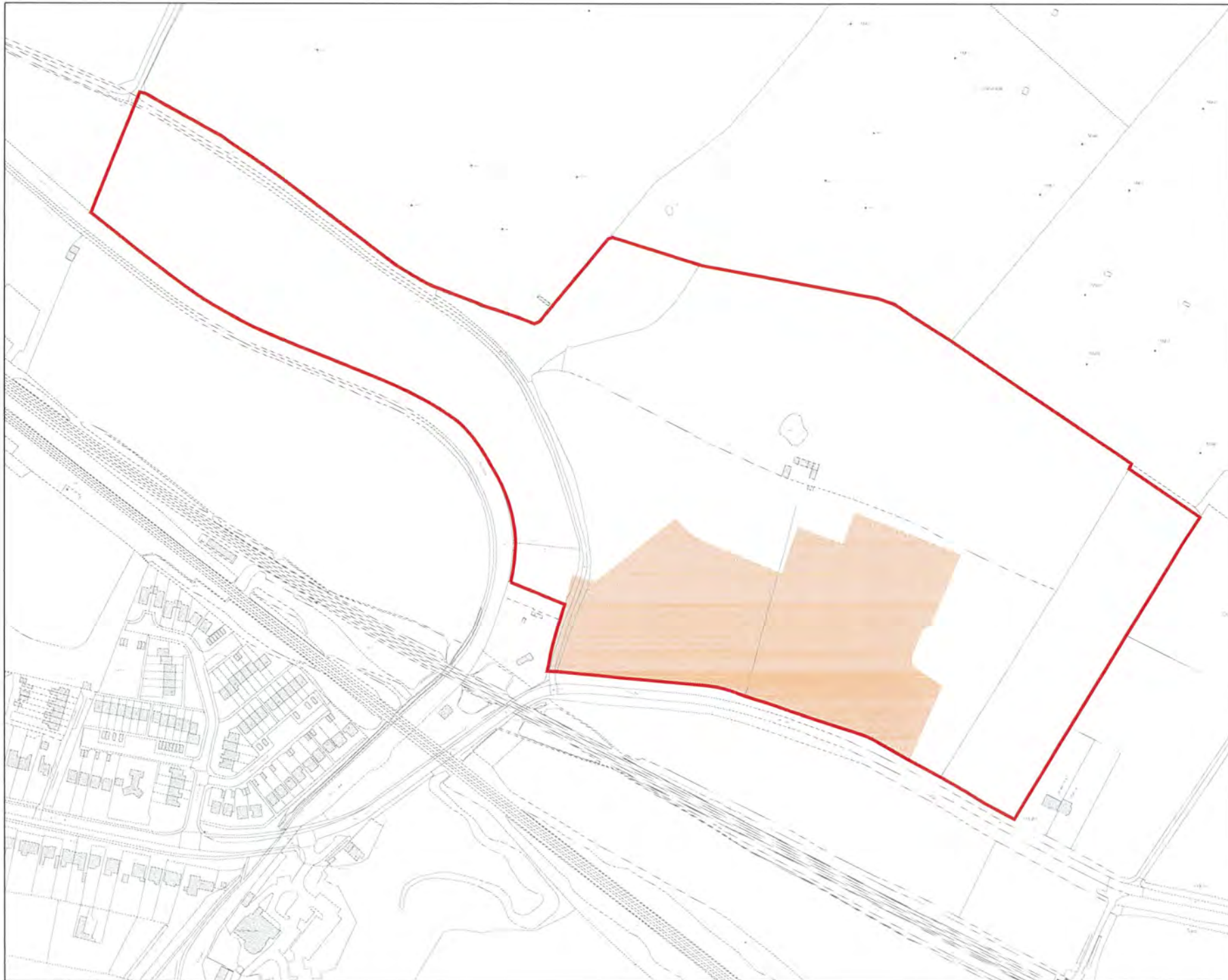


# Crime and Disorder

## REASON FOR REFUSAL 6

- The retained footpath would create an unpleasant experience with a sense/fear of crime.
- It would create easy access to the rear of the proposed dwelling resulting in an increase risk and fear of crime.
- It has not been demonstrated that the proposal can be designed in such a manner that it would create a safe and accessible environment, where crime and disorder, and the fear of crime, do not undermine the quality of life.





The scaling of this drawing cannot be assumed

Revision	Date	By	Check
A	28.10.15	ZW	MA

Update

— Outline Application Boundary  
 ■ Area subject to Detailed Application

Project  
 WHARF FARM,  
 RUGBY

Drawing Title  
 PARAMETER PLAN: HYBRID  
 APPLICATION BOUNDARIES

Date  
 18.09.15

Scale  
 1:125000A1

Drawn by  
 J.W.

Check by  
 M.A.

Project No.  
 24555

Drawing No.  
 RG-M-15

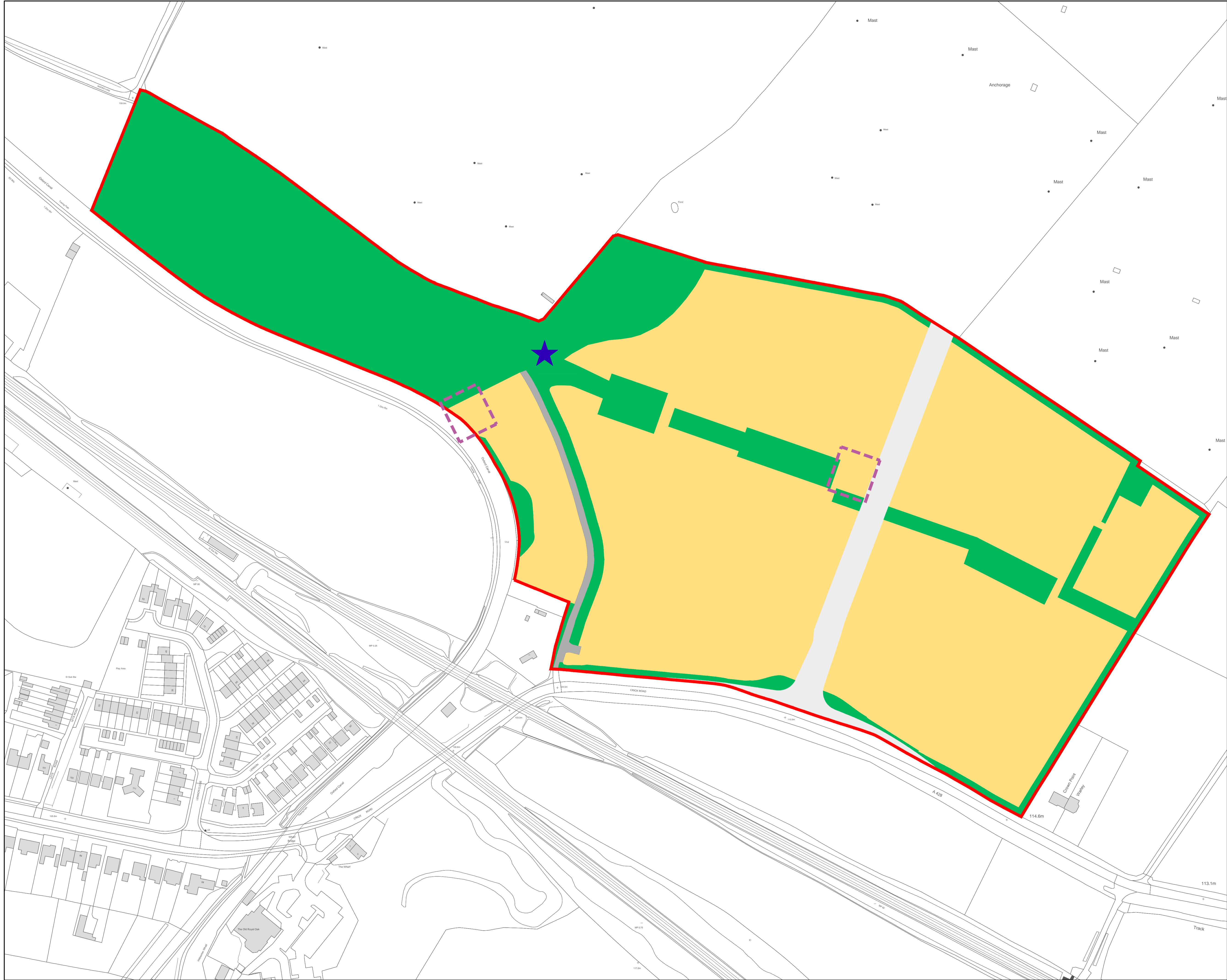
Revision  
 A



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- Site Boundary
- Development Area
- Proposed Main Route
- Open Space & Landscape Buffer
- Moors Lane
- Mixed Use
- Indicative Location for Foul Pumping Station

Project  
**WHARF FARM,  
 RUGBY**  
 Drawing Title  
**PARAMETER PLAN  
 LAND USE PLAN**  
 Date  
 03.06.16  
 Project No  
 24555

Scale  
 1:1250@A1  
 Drawing No  
 RG-M-11

Drawn by  
 J.W.  
 Check by  
 M.A.  
 Revision  
 J



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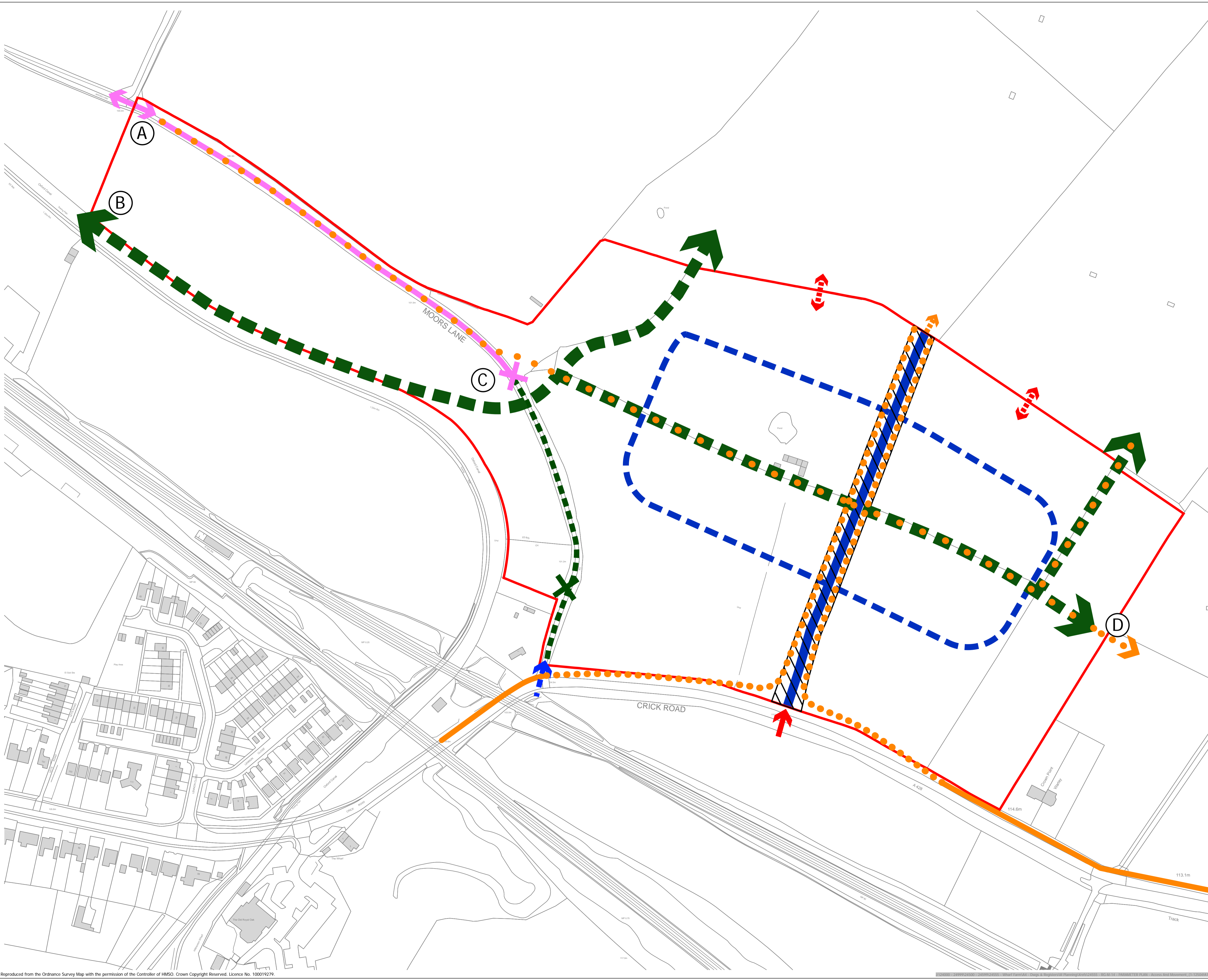
- Site Boundary
- 1 - Natural & Semi-Natural Green Spaces & Landscaping
- 2 - Amenity Open Space (Informal Open Space and Greenway)
- 3 - Potential Location for Children and Youth Play
- 4 - Allotments & Community Gardens
- Proposed East / West Greenway
- Indicative Location or SUDs

Project  
**WHARF FARM,  
 RUGBY**  
 Drawing Title  
**PARAMETER PLAN  
 GREEN INFRASTRUCTURE PLAN**  
 Date 03.06.16 Scale 1:1250@A1 Drawn by J.W. Check by M.A.  
 Project No 24555 Drawing No RG-M-12 Revision F



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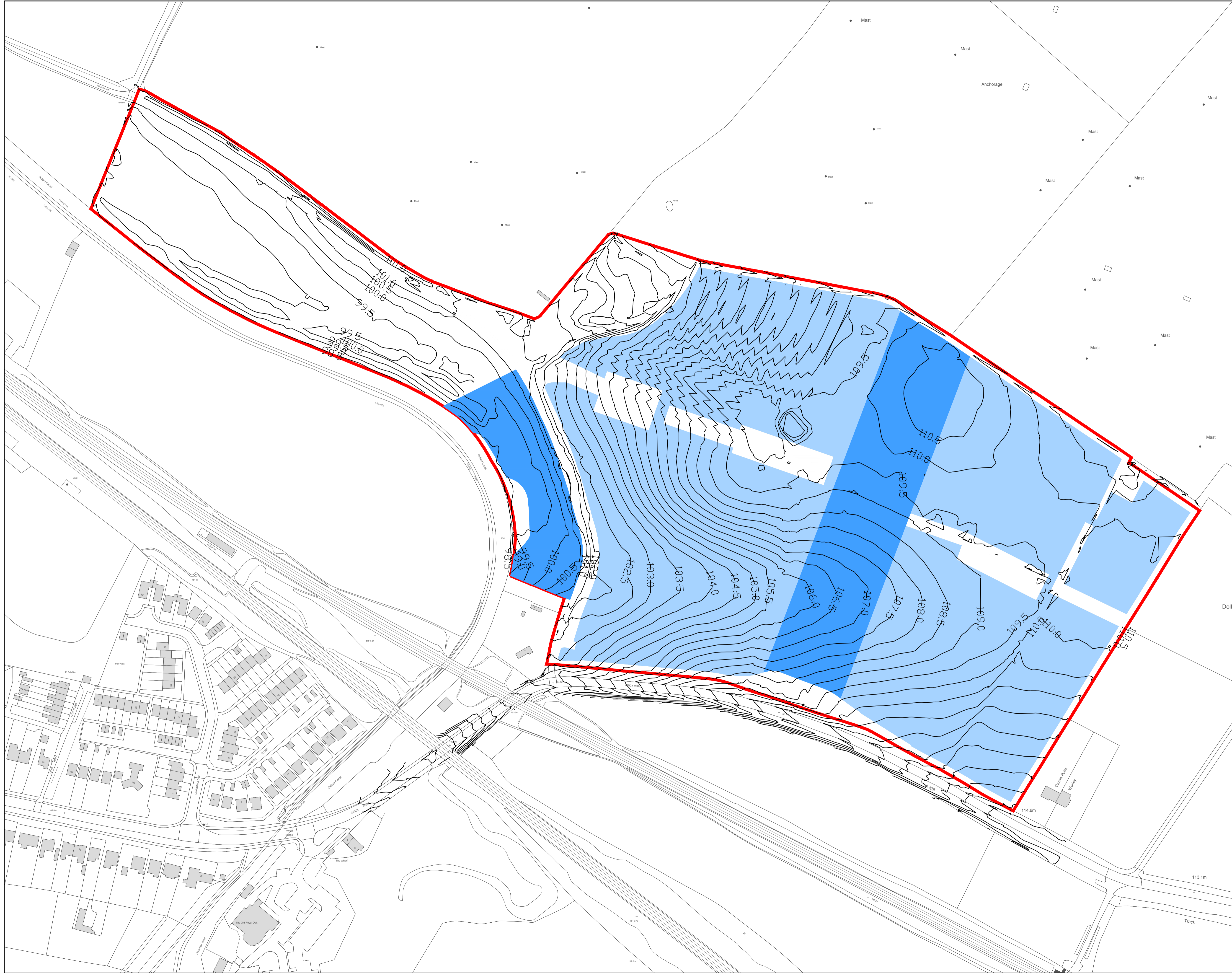
- Outline Application Boundary
- Main Spine Corridor in which Main Road is accommodated
- Indicative Secondary Loop
- ➔ Main Site Access
- ➔ Access Retained for Existing Dwelling and Emergency Access
- ➔ Future Access
- ➔ Potential Future Pedestrian Access
- ✕ No Through Vehicular Movement
- - - Shared Movement
- ✕ No Vehicular Movement
- Lane amended to Footpath / Cycle Only
- ↔ Pedestrian / Cycle Access
- A Pedestrian Links to be provided between A+B+C ; and C+D
- Proposed Strategic Cycle / Pedestrian Route
- Existing Cycle/ Pedestrian Route
- Greenway

Project  
**WHARF FARM, RUGBY**  
 Drawing Title  
**PARAMETER PLAN : ACCESS AND MOVEMENT**  
 Date 14.09.15 Scale 1:1250@A1 Drawn by J.W. Check by M.A.  
 Project No 24555 Drawing No RG-M-A102 Revision D

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- Outline Application Boundary
- Up to 2.5 Storeys (Maximum Height of 10 metres)
- Up to 3 Storeys (Maximum Height of 12 metres)
- Existing ground levels



Project  
**WHARF FARM,  
 RUGBY**  
 Drawing Title  
**PARAMETER PLAN :  
 BUILDING HEIGHTS**  
 Date 14.09.15 Scale 1:1250@A1 Drawn by J.W. Check by M.A.  
 Project No 24555 Drawing No RG-M-13 Revision C



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The scaling of this drawing cannot be assured  
 Revision: Amendments Layout Date: 27.06.16 Dm: J.W. D.S. Cld

- Outline Application Boundary  
- 16.16Ha / 39.93Ac
- Detailed Application Boundary

Project: WHARF FARM, RUGBY  
 Drawing Title: ILLUSTRATIVE SITE LAYOUT



Date: 26.08.15	Scale: 1:1250@A1	Drawn by: J.W.	Check by: M.A.
Project No: 24555	Drawing No: RG-M-07	Revision: L	

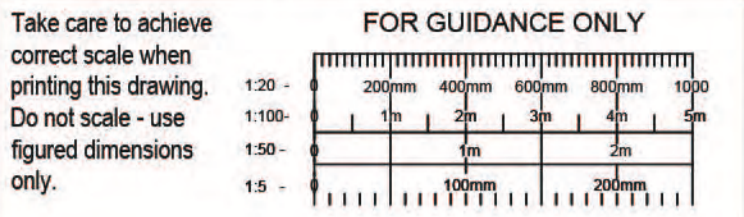


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- Notes :**
- This drawing to be read in conjunction with:
- all other house type drawings
  - all relevant site plans
  - materials specification and summary specification
  - engineer's drawings
  - all other relevant consultants' and sub-contractors' drawings.

PBA levels shown along primary road  
All other levels subject to engineers approval

- SITE PLAN KEY:**
- Proposed Substation Location
  - Bin Store Locations (3 x 240l bins)
  - Bin Store for apartments - design to detail
  - Bin Collection Point
    - within 30m of all dwelling storage
    - within 25m of refuse vehicle access
    - all other dwellings to deposit refuse at kerb side for collection

- STREET HIERARCHY PLAN (INSET) KEY:**
- Primary Street
  - Secondary Street
  - Side Street / Shared Surface
  - Lane / Private Drive

- ROAD ADOPTION PLAN (INSET) KEY:**
- Adopted Roads



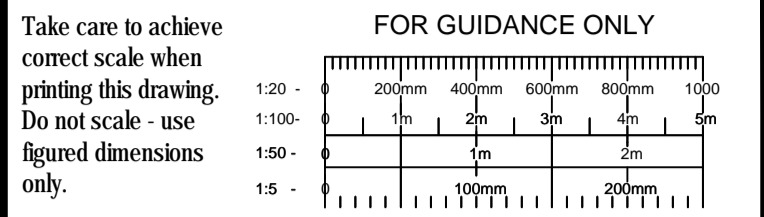
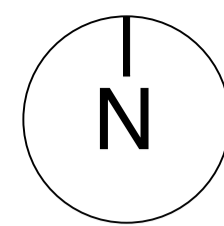
**Street Hierarchy**  
scale 1:2500

**Road Adoption**  
scale 1:2500

Rev	Details	Date	Checked By
<b>PLANNING</b>			
BROWNHILL HAYWARD BROWN			
CHARTERED ARCHITECTS			
GEORGIAN HOUSE 24 BIRD STREET LICHFIELD STAFFS WS13 6PT			
TEL 01543 25437 FAX 01543 416540 e-mail mail@bharchitects.co.uk			
Client	Barwood Development Securities Ltd		
Project	Wharf Farm, Rugby		
Title	Proposed Site Plan		

Scale	Date	Drawn By	Checked By	Drawing Number	Rev
1:500@A1	Nov 15	MC		3111 - 01	F

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- Notes :**
- This drawing to be read in conjunction with:
- all other housetype drawings
  - all relevant site plans
  - materials specification and summary specification
  - engineer's drawings
  - all other relevant consultants' and sub-contractors' drawings.

**SCHEDULE OF ACCOMMODATION:**

		<b>Beds</b>	<b>No.</b>
	GW-1	4	6
	GW-2	4	8
	RE-1	4	5
	RE-2	4	5
	FU-1	3	2
	FU-2	3	14
	FU-3	3	3
	FU-4	3	14
	FU-5	2	8
	FU-6	4	2
	FU-7	4	1
	FU-8	3	1
	FU-9	3	1
	GW-Apt (average area)	2	14
	GW-Apt (average area)	1	4
<b>TOTAL</b>			<b>88</b>



Rev	Details	Date	Checked By

**PLANNING**

**BROWNHILL HAYWARD BROWN**  
CHARTERED ARCHITECTS

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TEL: 01543 254357 FAX: 01543 416540 e-mail: mail@bhbbarchitects.co.uk

Client **Barwood Development Securities Ltd**

Project **Wharf Farm, Rugby**

Title **Housing Mix Plan - House Types**

Scale	Date	Drawn By	Checked By	Drawing Number	Rev
1:500@A1	Nov 15	MC		3111 - 02	F

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**NOTES:**

BEDROOMS: 1 & 2

AREAS:

1 bed	2no.	53m <sup>2</sup> (570ft <sup>2</sup> )
2 bed	3no.	65m <sup>2</sup> (700ft <sup>2</sup> )
2 bed	4no.	66m <sup>2</sup> (707ft <sup>2</sup> )

MATERIALS:

Roof	Grey/Red clay
Walls	Red Brick & Render
Chimneys	Red Brick
Window heads	Flat Brick Arch
Window cills	Stone
Joinery	uPVC
Rainwater goods	Black uPVC

ROOF HEIGHT (height of highest roof above slab):

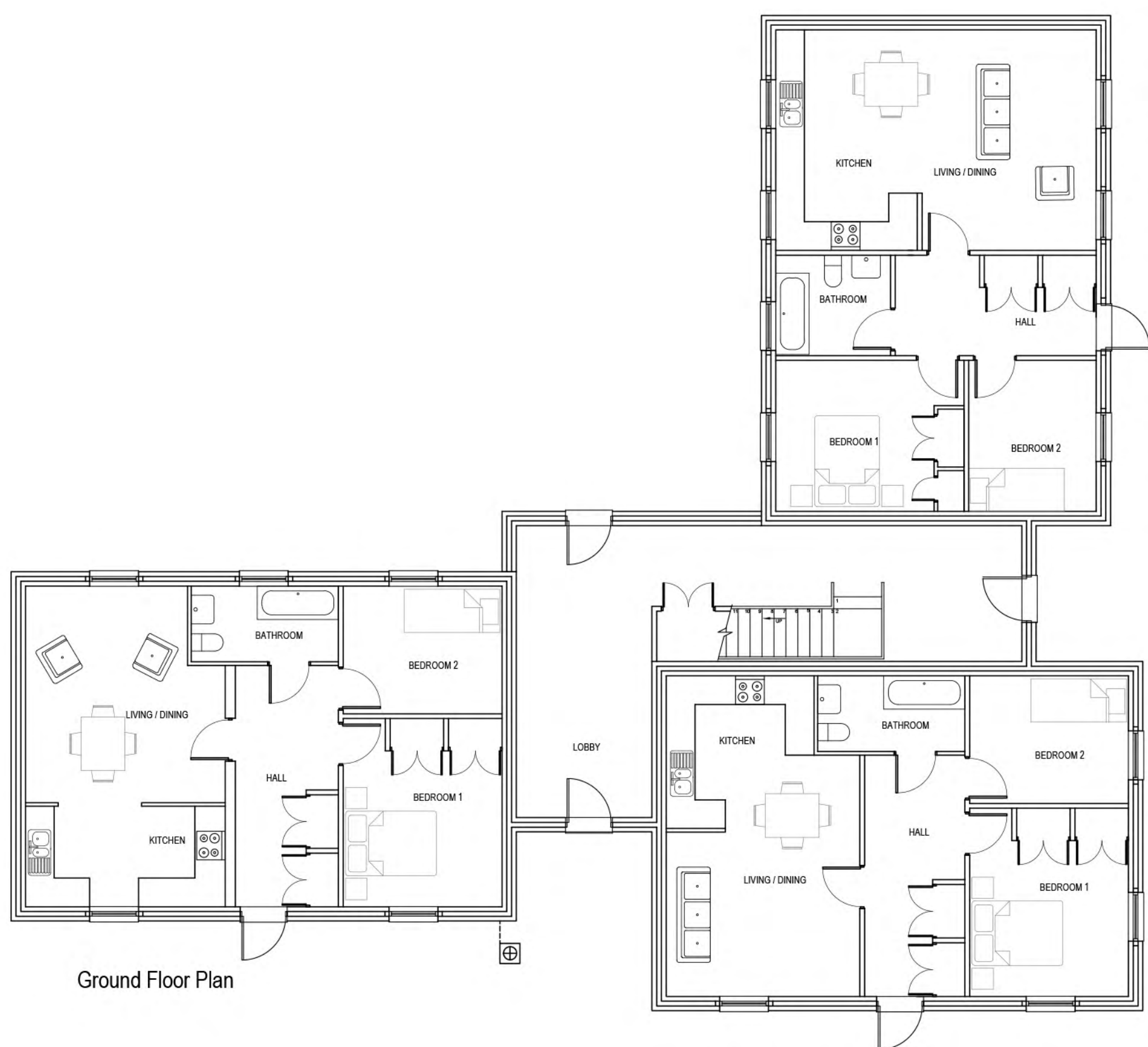
Ridge	10.8m
Eaves	7.9m



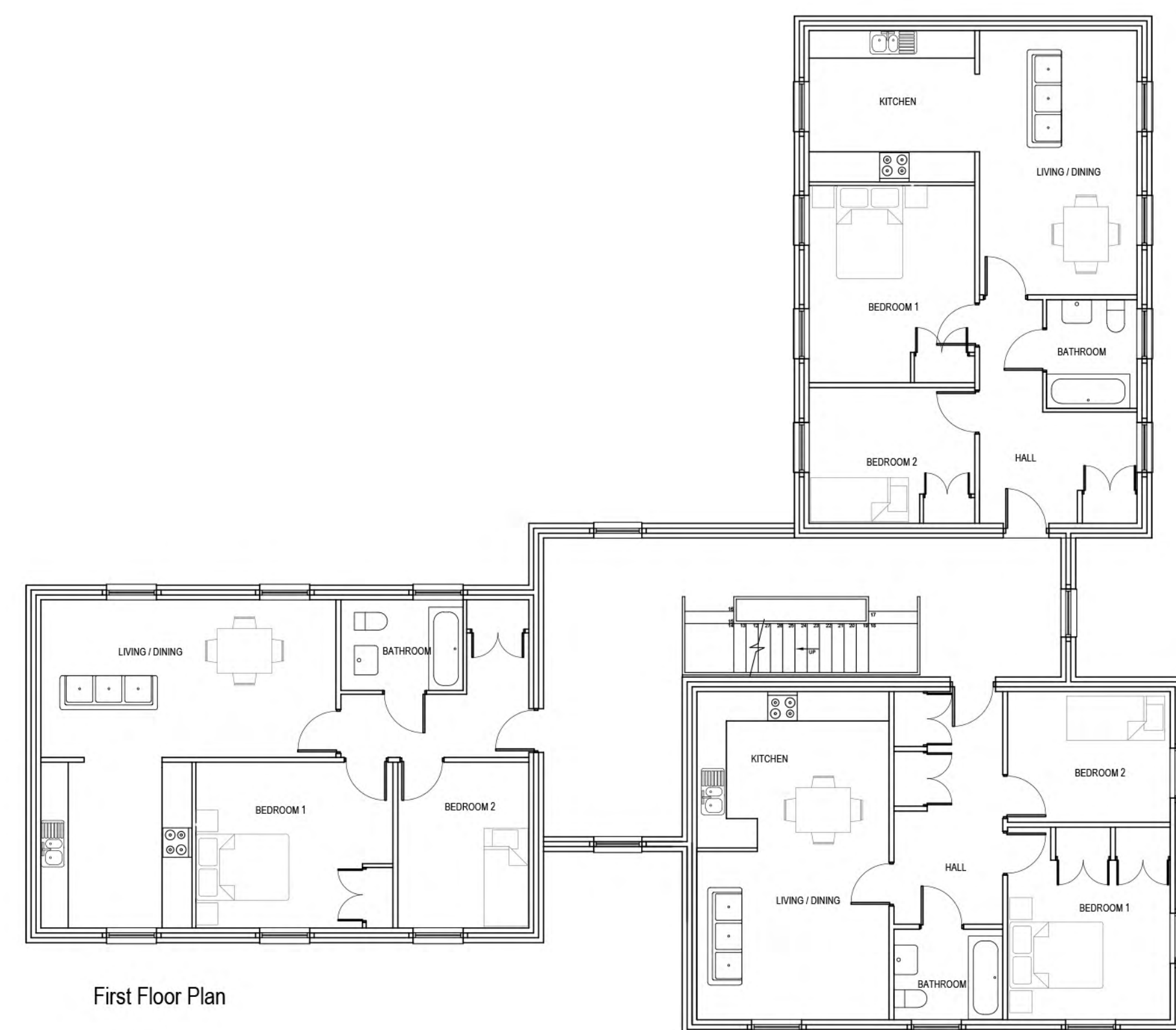
Front Elevation



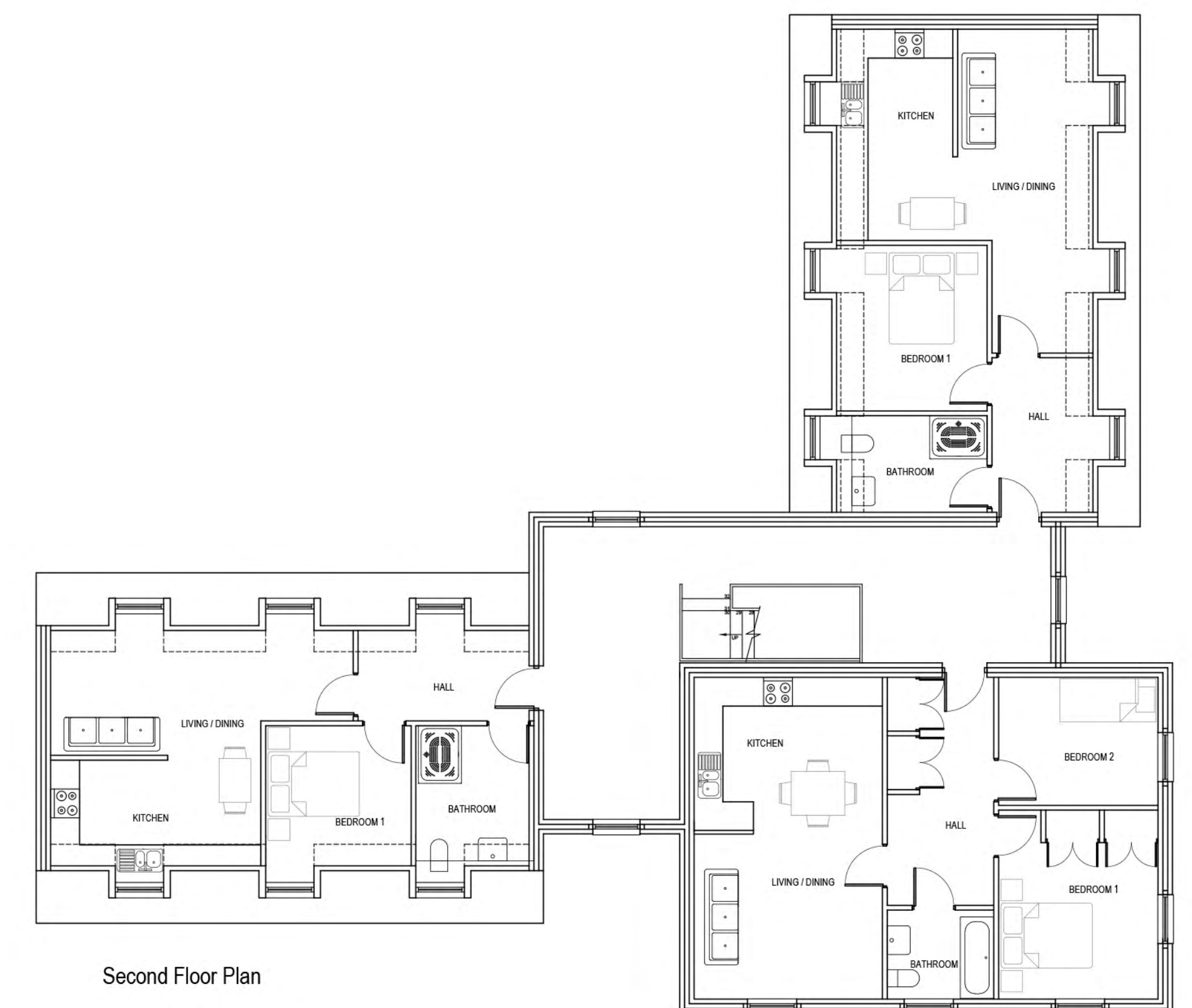
Side Elevation



Ground Floor Plan



First Floor Plan



Second Floor Plan



Side Elevation



Rear Elevation

A	Apartments amended to suit site changes	25/05/16	Date	Checked By
Rev	Details		Date	Checked By
<b>PLANNING</b>				
<b>BROWNHILL HAYWARD BROWN</b> CHARTERED ARCHITECTS GEORGIAN HOUSE 24 BIRD STREET LICHFIELD STAFFS WS13 6PT TEL: 01543 254357 FAX: 01543 416540 e-mail: <a href="mailto:enquiries@bharchitects.co.uk">enquiries@bharchitects.co.uk</a>				
Client	Barwood Development Securities Ltd			
Project	Wharf Farm, Rugby			
Title	Housetype GW-Apt			
Scale	Date	Drawn By	Checked By	Drawing Number
1:100@A1	23-10-15	CC	MW	3111.23
<small>Scale dimensions from this drawing</small>				

1:100 @ A2

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Front Elevation

9015 ridge height  
4800 eaves height



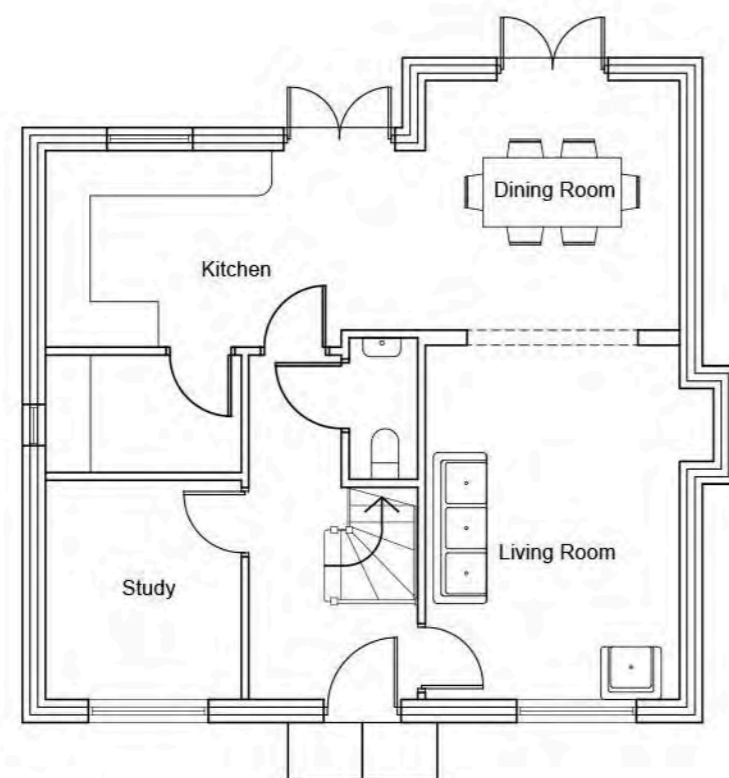
Rear Elevation



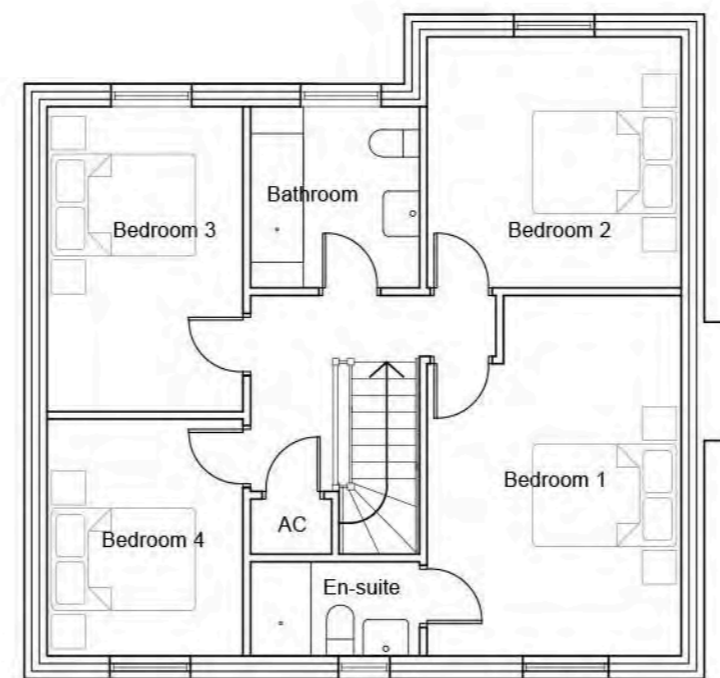
Side Elevation



Side Elevation



Ground Floor Plan



First Floor Plan

**NOTES:**

- BEDROOMS: 4
- AREA: 128m<sup>2</sup> (1382ft<sup>2</sup>)
- MATERIALS:
  - Roof: Orange/red tiles
  - Walls: Red brick
  - Chimneys: Red brick
  - Window heads: Brick Arch
  - Joinery: uPVC
  - Rainwater goods: Black uPVC

**ROOF HEIGHT (height of higher roof above slab):**

- Ridge: 9.00m
- Eaves: 4.90m

Rev	Details	Date	Checked By

**PLANNING**

**BROWNHILL HAYWARD BROWN**  
CHARTERED ARCHITECTS  
GEORGIAN HOUSE 24 BIRD STREET LICHFIELD STAFFS WS13 6PT  
TEL 01543 254357 FAX 01543 416540 e-mail mail@hbharchitects.co.uk

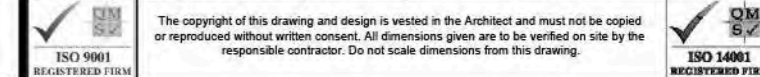
Client: Barwood Development Securities Ltd

Project: Wharf Farm, Rugby

Title: Housetype RE-1 (B)

Scale	Date	Drawn By	Checked By	Drawing Number	Revision
1:100 @ A2	22-10-15	MA	JW	3111-13	

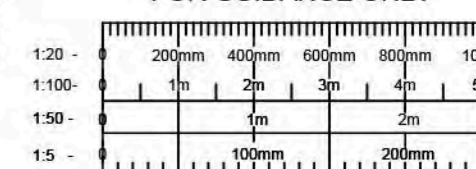
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1:100 @ A2

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Front Elevation



Side Elevation



Side Elevation



Rear Elevation

**NOTES:**

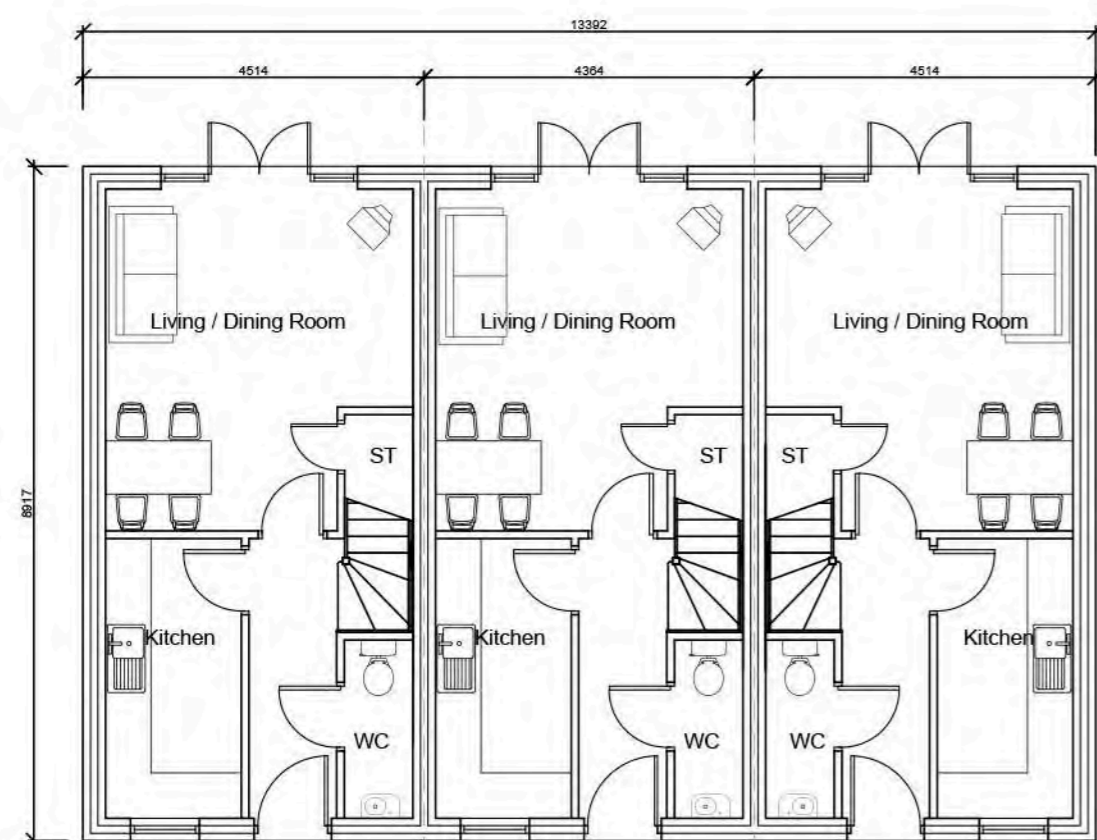
BEDROOMS: 2  
AREA: 66.9m<sup>2</sup> (720ft<sup>2</sup>)

**MATERIALS:**

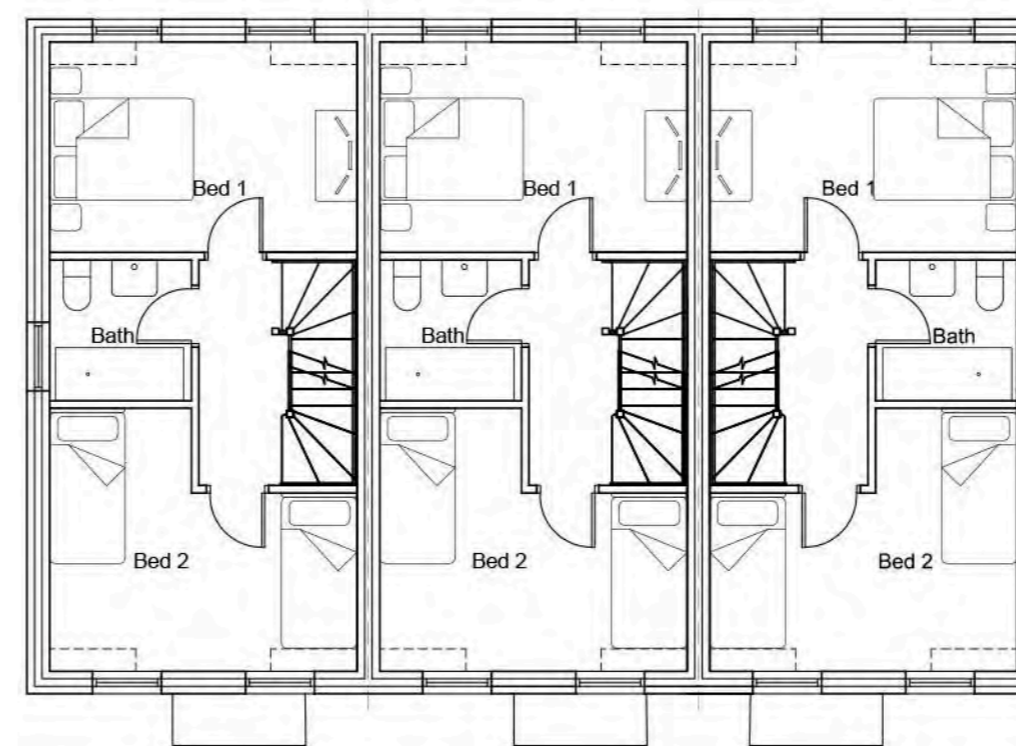
- Roof Red tile
- Walls Red brick
- Chimneys Red brick
- Window heads Flat brick arch
- Window cills Brick on edge
- Joinery uPVC
- Rainwater goods Black uPVC

**ROOF HEIGHT (height of higher roof above slab):**

Ridge 8.80m  
Eaves 4.80m



Ground Floor Plan



First Floor Plan

Rev	Details	Date	Checked By
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**PLANNING**

**BROWNHILL HAYWARD BROWN**  
CHARTERED ARCHITECTS  
GEORGIAN HOUSE 24 BIRD STREET LICHFIELD STAFFS WS13 6PT  
TEL 01543 254357 FAX 01543 416540 e-mail mail@bbharchitects.co.uk

Client Barwood Development Securities Ltd

Project Wharf Farm, Rugby

Title Housetype FU-5 (B)

Scale	Date	Drawn By	Checked By	Drawing Number	Revision
1:100 @ A2	22-10-15	MA	JW	3111-15	

1:100 @ A2

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Front Elevation



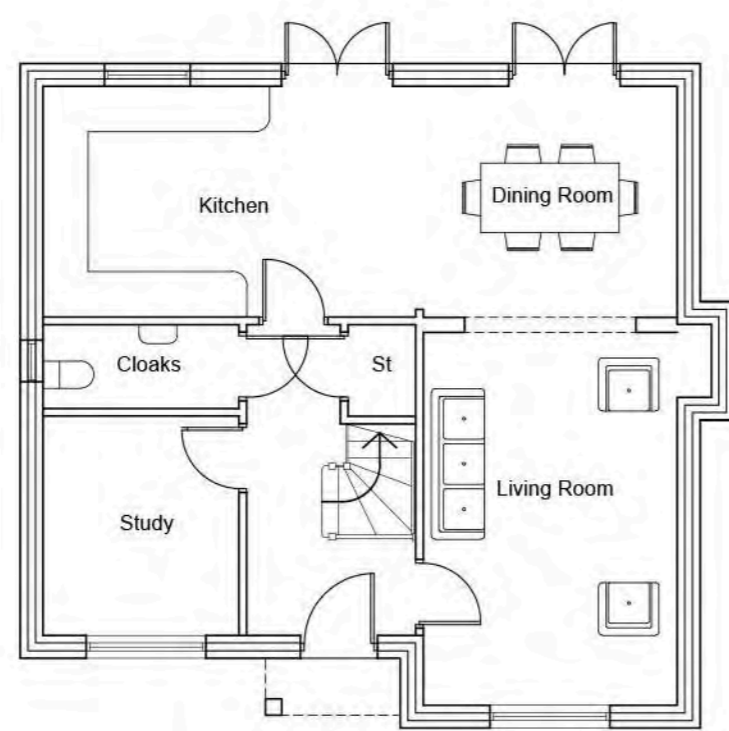
Rear Elevation



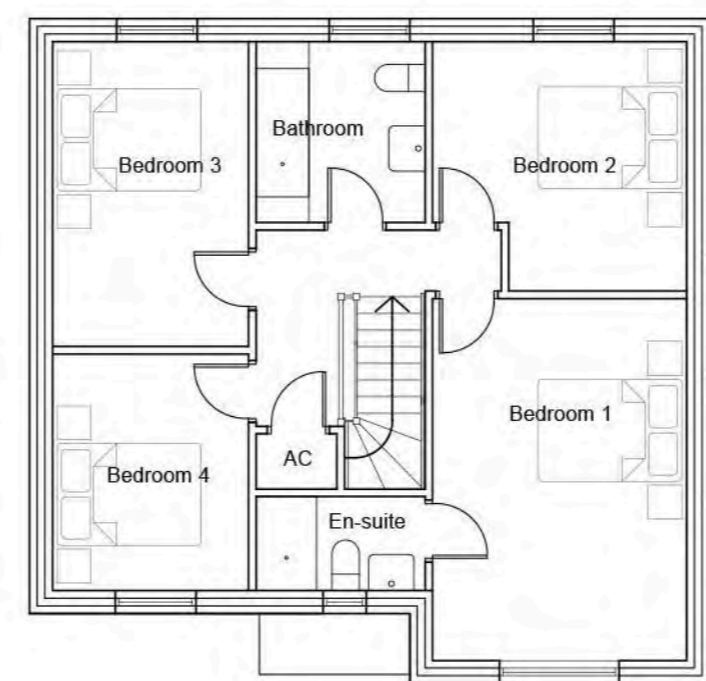
Side Elevation



Side Elevation



Ground Floor Plan



First Floor Plan

**NOTES:**

- BEDROOMS: 4
- AREA: 128.5m<sup>2</sup> (1384ft<sup>2</sup>)
- MATERIALS:
  - Roof Red tiles
  - Walls Red brick
  - Chimneys Red brick
  - Window heads Brick Arch
  - Joinery uPVC
  - Rainwater goods Black uPVC

ROOF HEIGHT (height of higher roof above slab):

- Ridge 9.00m
- Eaves 4.90m

Rev	Details	Date	Checked By

**PLANNING**



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Client Barwood Development Securities Ltd

Project Wharf Farm, Rugby

Title Housetype RE-2 (B)

Scale	Date	Drawn By	Checked By	Drawing Number	Revision
1:100 @ A2	22-10-15	MA	JW	3111-19	

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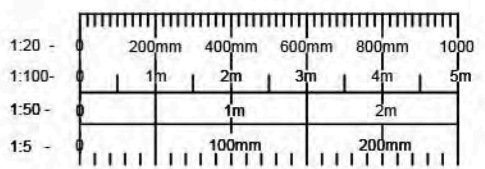




1:100 @ A2

Take care to achieve correct scale when printing this drawing. Do not scale - use figured dimensions only.

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Front Elevation



Rear Elevation



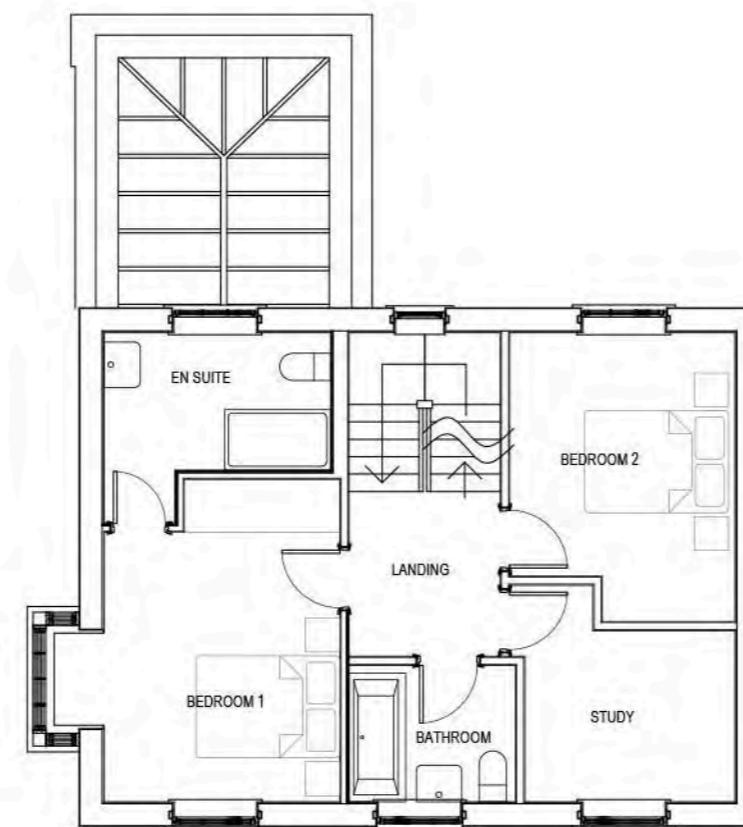
Side Elevation



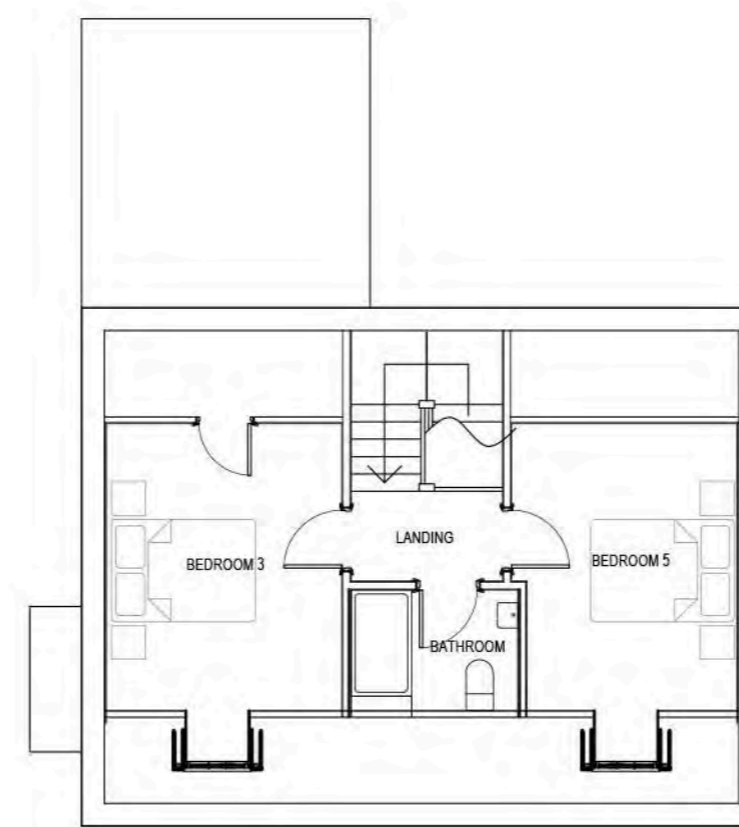
Side Elevation



Ground Floor Plan



First Floor Plan



Second Floor Plan

**NOTES:**

BEDROOMS: 4  
AREA: 147m<sup>2</sup> (1580ft<sup>2</sup>)

**MATERIALS:**  
Roof: Grey Tile  
Walls: Buff Brick/ Off White Render  
Chimney: Buff Brick  
Window heads: Flat Brick Arch  
Window cills: Stone/Brick on edge  
Joinery: uPVC  
Rainwater goods: Black uPVC

**ROOF HEIGHT (height of higher roof above slab):**

Ridge: 9.68m  
Eaves: 5.74m

Rev	Details	Date	Checked By

**PLANNING**

**BROWN HILL HAYWARD BROWN**  
CHARTERED ARCHITECTS  
GEORGIAN HOUSE 24 BIRD STREET LICHFIELD STAFFS WS13 6PT  
TEL. 01543 254357 FAX 01543 416540 e-mail. [ma@bbharchitects.co.uk](mailto:ma@bbharchitects.co.uk)

Client: Barwood Development Securities Ltd

Project: Wharf Farm, Rugby

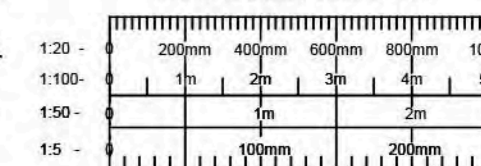
Title: Housetype GW-2 (B&R)

Scale	Date	Drawn By	Checked By	Drawing Number	Revision
1:100@A2	22-10-15	MA	JW	3111-21	

1:100 @ A2

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**NOTES:**

- BEDROOMS: 3
- AREA: 94m<sup>2</sup> (1008sqft)
- MATERIALS:
  - Roof Red/Grey tiles
  - Walls Red brick/Render
  - Chimneys Red brick
  - Window heads Flat brick arch
  - Window cills Brick on edge
  - Joinery UPVC
  - Rainwater goods Black upvc

**ROOF HEIGHT:**

- Ridge 8.77m
- Eaves 4.57m



Side Elevation - Brick



Front Elevation - Brick



Side Elevation - Brick



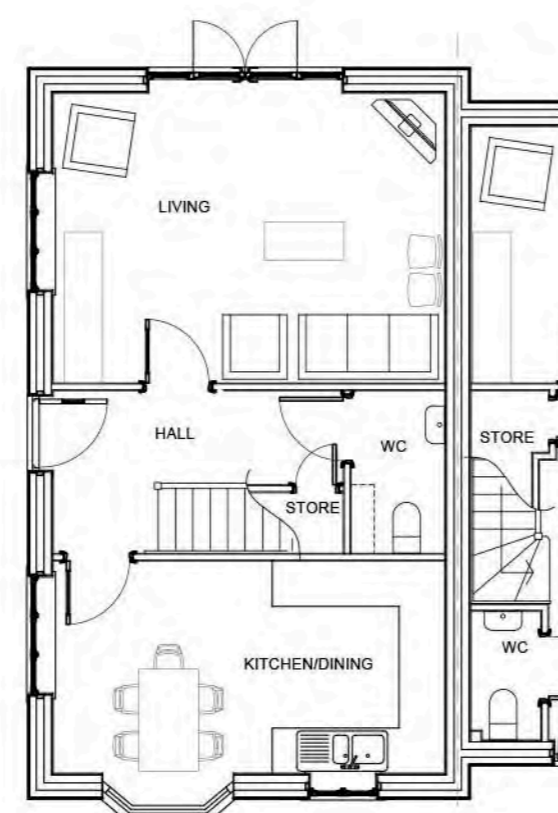
Side Elevation - Render



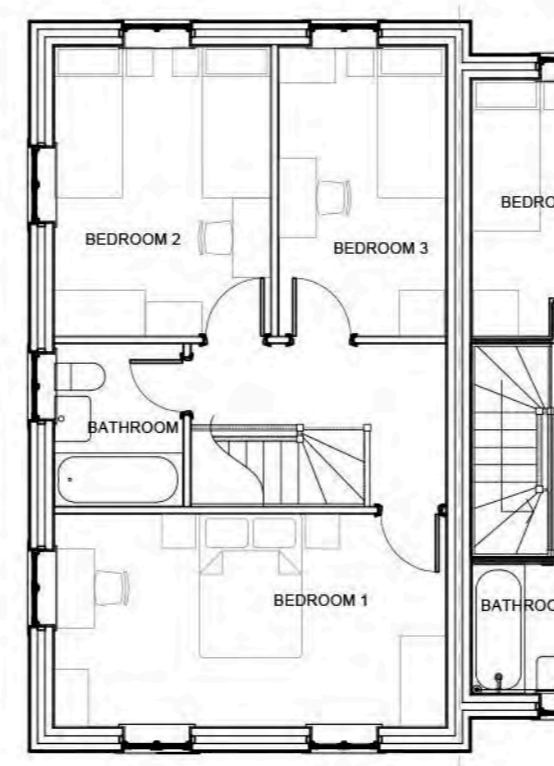
Front Elevation - Render



Side Elevation - Render



Ground Floor Plan



First Floor Plan

Rev	Details	Date	Checked By

**PLANNING**

**BROWN HILL HAYWARD BROWN**  
 CHARTERED ARCHITECTS  
 GEORGIAN HOUSE 24 BIRD STREET LICHFIELD STAFFS WS13 6PT  
 TEL. 01543 254357 FAX. 01543 416540 e-mail. mail@bbbarchitects.co.uk

Client Barwood Development Securities Ltd

Project Wharf Farm, Rugby

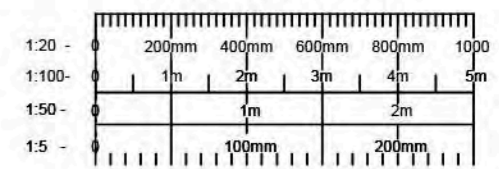
Title Housetype FU-3 (Semi-Detached)

Scale	Date	Drawn By	Checked By	Drawing Number	Revision
1:100 @ A2	22-10-15	JW	JW	3111-27	

1:100 @ A2

Take care to achieve correct scale when printing this drawing. Do not scale - use figured dimensions only.

FOR GUIDANCE ONLY



Front Elevation



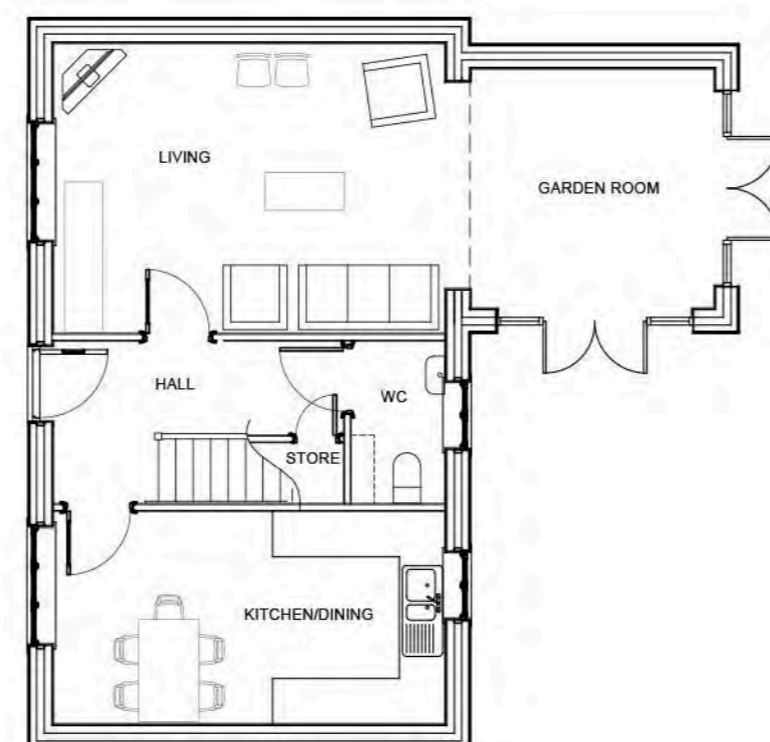
Rear Elevation



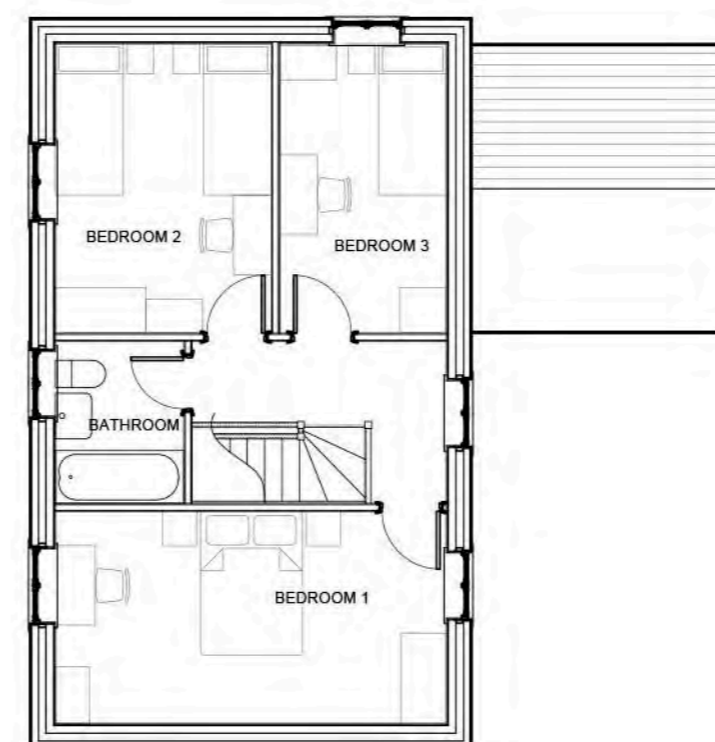
Side Elevation



Side Elevation



Ground Floor Plan



First Floor Plan

**NOTES:**

- BEDROOMS: 3
- AREA: 106m<sup>2</sup>/1141sqft
- MATERIALS:
  - Roof Red tiles
  - Walls Red brick
  - Chimneys Red brick
  - Window heads Flat brick arch
  - Window cills Brick on edge
  - Joinery UPVC
  - Rainwater goods Black upvc
- ROOF HEIGHT:
  - Ridge 8.77m
  - Eaves 4.57m

Rev	Details	Date	Checked By

**PLANNING**

**BROWN HILL HAYWARD BROWN**  
CHARTERED ARCHITECTS  
GEORGIAN HOUSE 24 BIRD STREET LICHFIELD STAFFS WS13 6PT  
TEL 01543 254357 FAX 01543 416540 e-mail mail@hbharchitects.co.uk

Client Barwood Development Securities Ltd

Project Wharf Farm, Rugby

Title Housetype FU-9

Scale	Date	Drawn By	Checked By	Drawing Number	Revision
1:100 @ A2	22-10-15	FS	JW	3111-29	

Take care to achieve correct scale when printing this drawing. Do not scale - use figured dimensions only.

FOR GUIDANCE ONLY

**Notes :**

- This drawing to be read in conjunction with:
- all other house type drawings
  - all relevant site plans
  - materials specification and summary specification
  - engineer's drawings
  - all other relevant consultants' and sub-contractors' drawings.
  - floors with headroom of less than 1.5m are not included in overall floor areas
  - non standard dimensions are shown in brackets



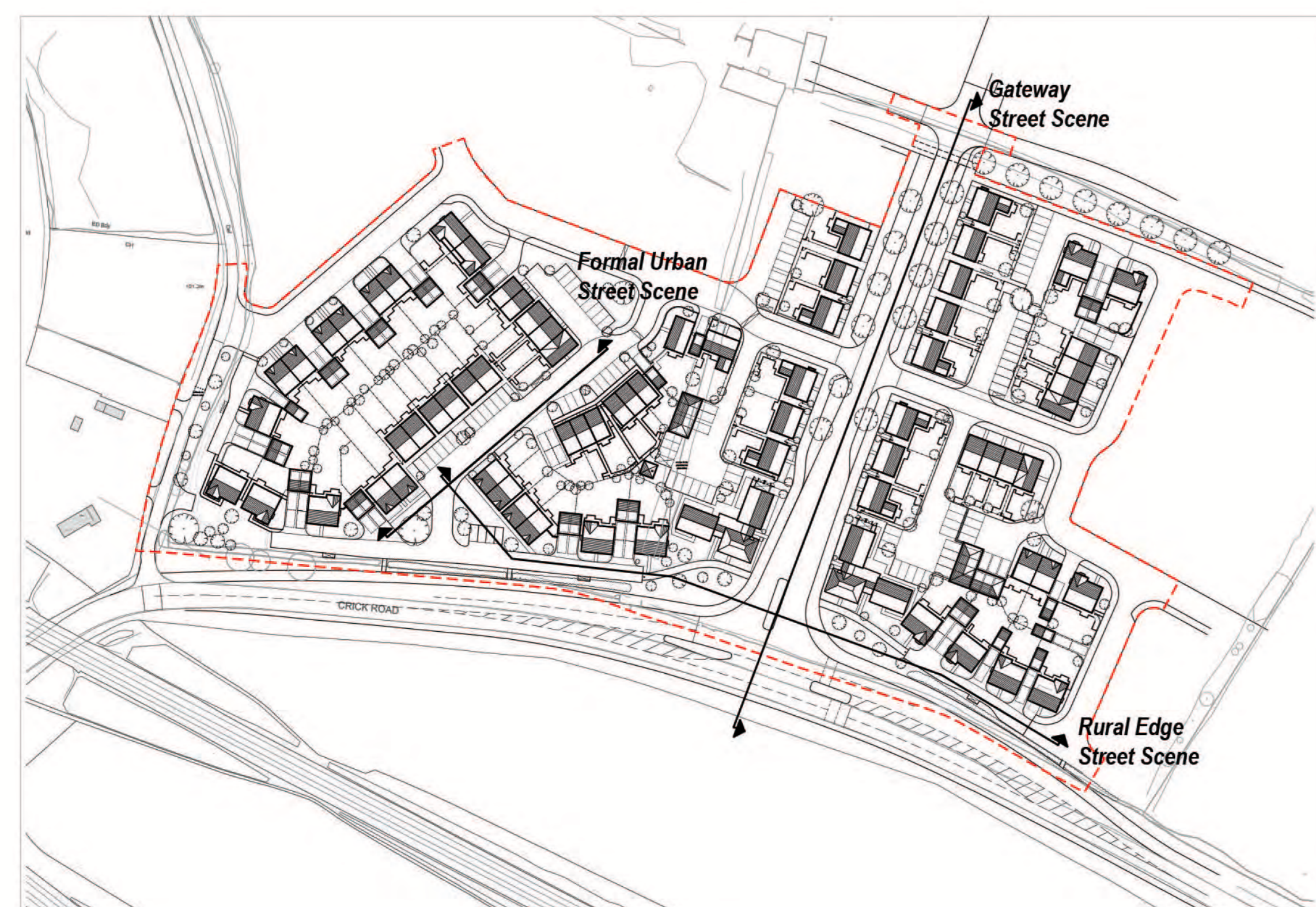
**Street Scene - Gateway**  
scale 1:200



**Street Scene - Rural Edge**  
scale 1:200



**Street Scene - Formal Urban**  
scale 1:200



**Key Plan**  
scale 1:1250

Rev. Details Date Checked By

**PLANNING**

**BROWN HILL HAYWARD BROWN**  
CHARTERED ARCHITECTS  
GEORGIAN HOUSE 10 BRAD STREET LICHFIELD STAFFS WV33 4PT  
TEL 01543 24601 FAX 01543 42860 e-mail: info@brownhillhayward.com

Client Barwood Development Securities Ltd

Project Wharf Farm, Rugby

Title Street Scenes

Scale	Date	Drawn By	Checked By	Drawing Number	Rev.
as above	Nov 18 16	CC	MW	311140	B

R16/2295

Grange Farm Cottage, Coventry  
Road, Cawston.

**Submission of Reserved Matters for the erection of  
10 residential dwellings with details relating to  
access, appearance, landscaping, layout and scale,  
pursuant to Outline planning permission reference  
R12/1947 granted on 22/05/2015.**

R16/2295 Application site





**SITE AREA**  
**1.65 Acres**

Overton Manor

COVENTRY RD

**SITE LOCATION PLAN**

1:1250@A1

 Application Boundary

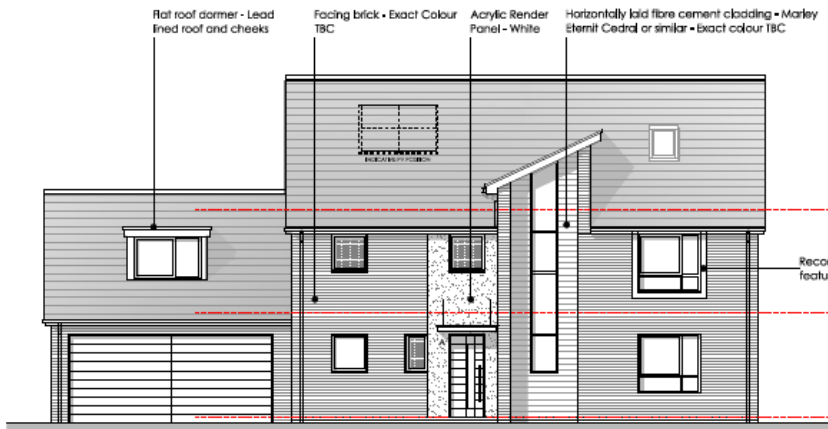




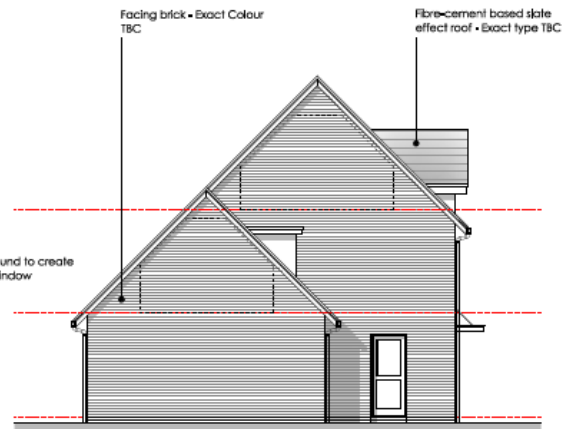
Site plan

OUT PLAN

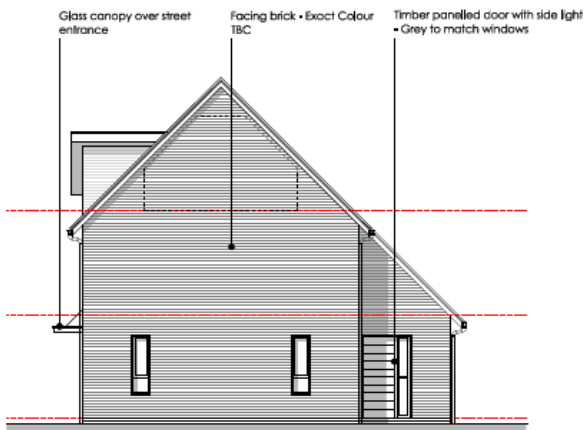




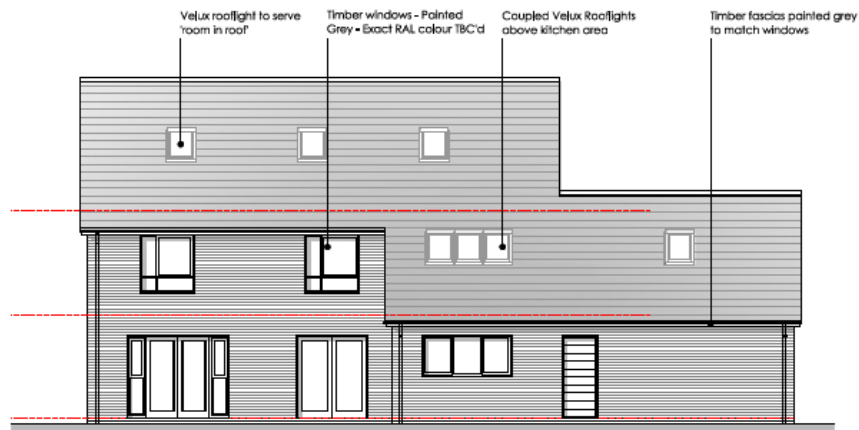
TYPICAL FRONT (STREET) ELEVATION  
1:100@A3



TYPICAL SIDE ELEVATION  
1:100@A3

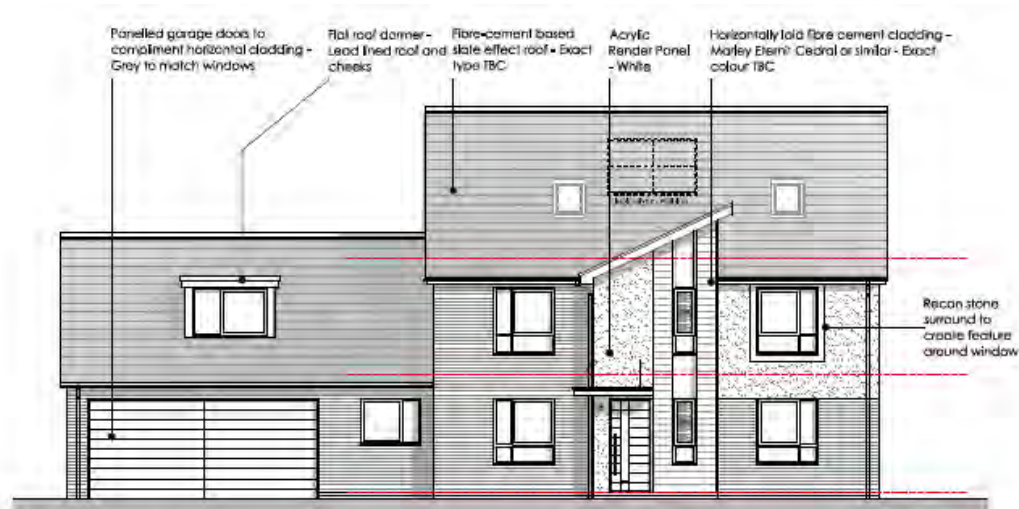


TYPICAL SIDE ELEVATION  
1:100@A3

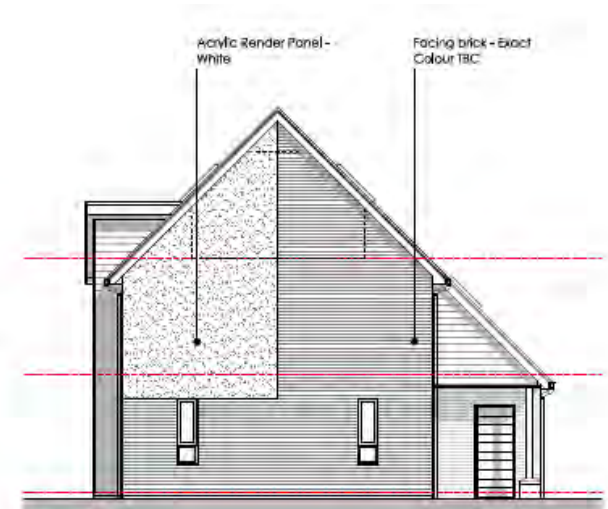


TYPICAL REAR (GARDEN) ELEVATION  
1:100@A3

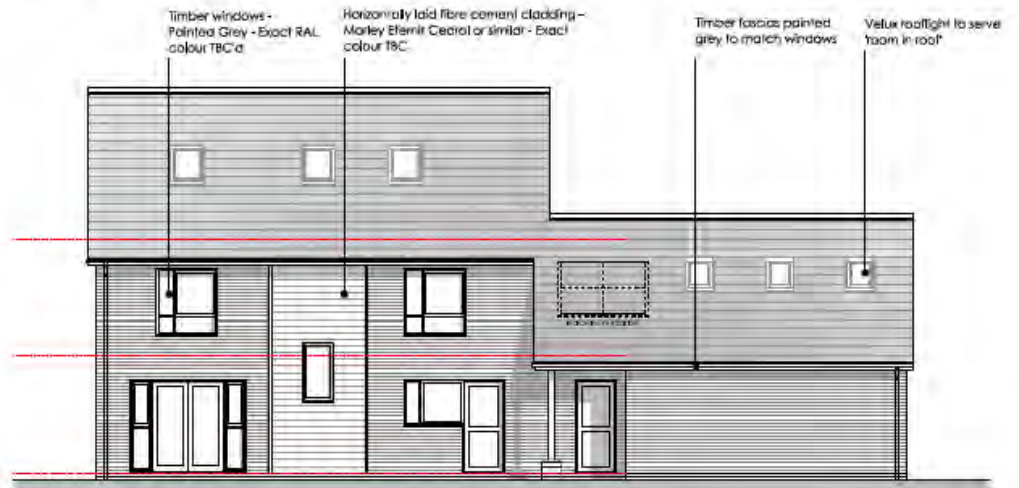
# House type A



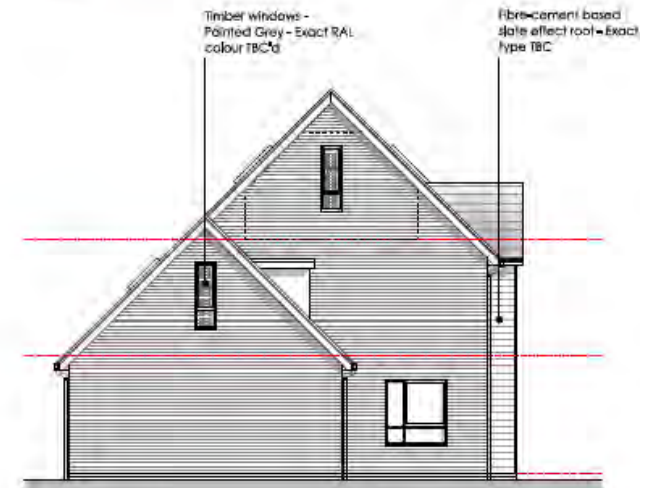
TYPICAL FRONT (STREET) ELEVATION  
1:100@A3



TYPICAL SIDE ELEVATION  
1:100@A3



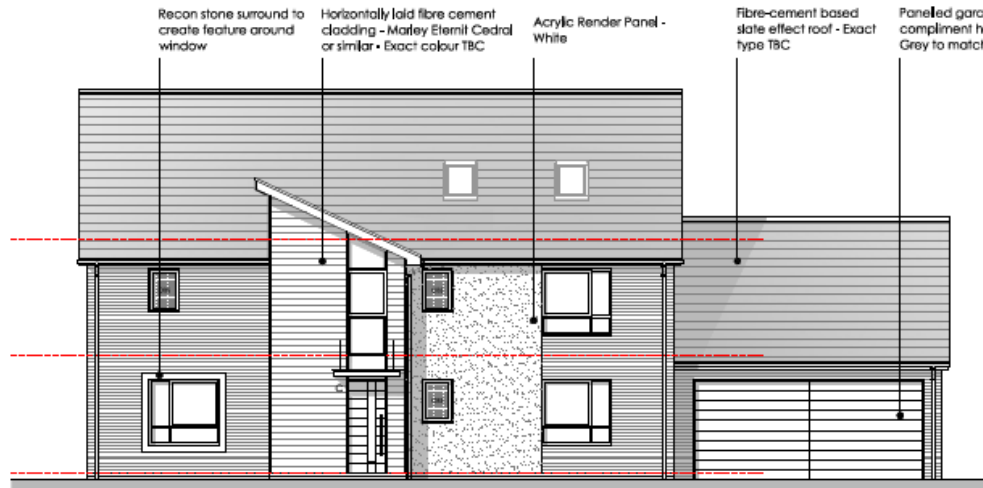
TYPICAL REAR (GARDEN) ELEVATION  
1:100@A3



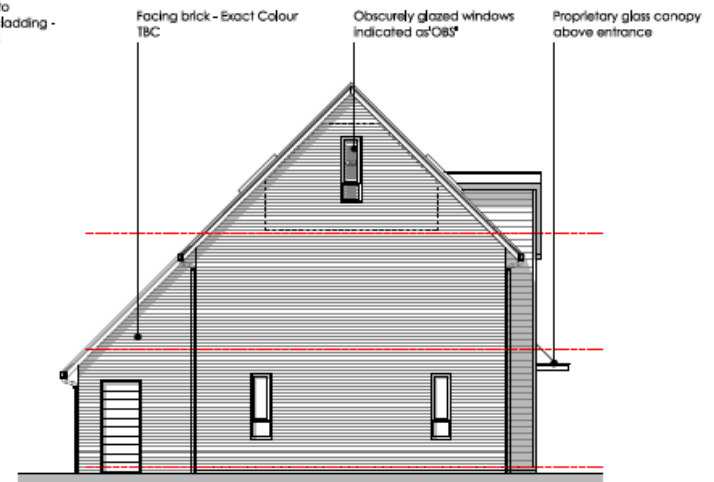
TYPICAL SIDE ELEVATION  
1:100@A3



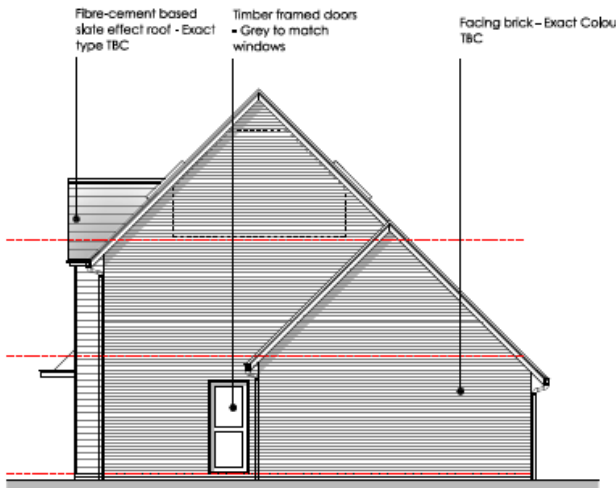
## House type B



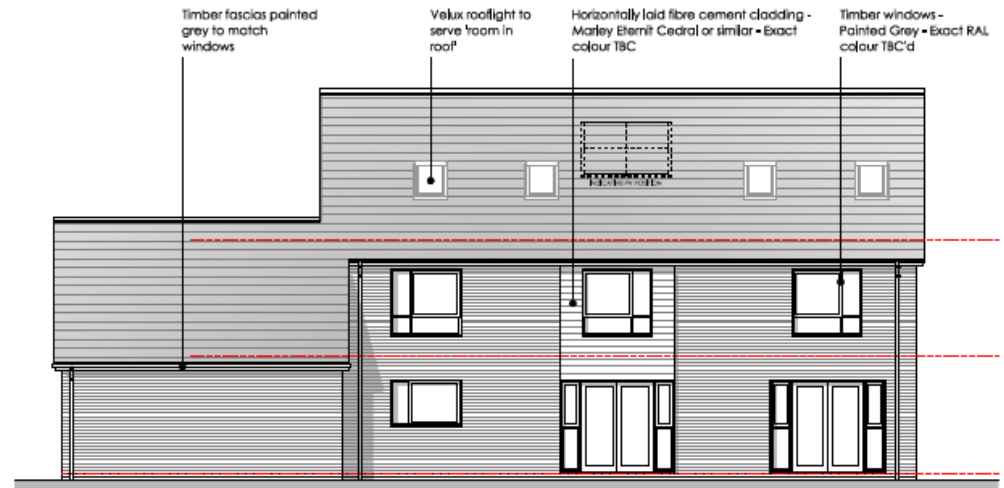
**TYPICAL FRONT (STREET) ELEVATION**  
1:100@A3



**TYPICAL SIDE ELEVATION**  
1:100@A3



**TYPICAL SIDE ELEVATION**  
1:100@A3



**TYPICAL REAR (GARDEN) ELEVATION**  
1:100@A3



## House type C

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**DENSITY** - Approximately 15 units per hectare

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**SITE AREA:** 1.65 Acres (6661m<sup>2</sup> or 0.67 Ha)

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**PROPOSED ACCOMMODATION SCHEDULE**

<b>PLOT</b>	<b>TYPE*</b>	<b>TENURE</b>	<b>SCALE</b>	<b>AREA (G.I.A)</b>
<b>01</b>	<b>A</b>	4 Bed detached	2.5 Storey	215.0m <sup>2</sup>
<b>02</b>	<b>A</b>	4 Bed detached	2.5 Storey	215.0m <sup>2</sup>
<b>03</b>	<b>B</b>	4 Bed detached	2.5 Storey	190.0m <sup>2</sup>
<b>04</b>	<b>A</b>	4 Bed detached	2.5 Storey	215.0m <sup>2</sup>
<b>05</b>	<b>B</b>	4 Bed detached	2.5 Storey	190.0m <sup>2</sup>
<b>06</b>	<b>C</b>	4 Bed detached	2.5 Storey	210.0m <sup>2</sup>
<b>07</b>	<b>C</b>	4 Bed detached	2.5 Storey	210.0m <sup>2</sup>
<b>08</b>	<b>C</b>	4 Bed detached	2.5 Storey	210.0m <sup>2</sup>
<b>09</b>	<b>B</b>	4 Bed detached	2.5 Storey	190.0m <sup>2</sup>
<b>10</b>	<b>B</b>	4 Bed detached	2.5 Storey	190.0m <sup>2</sup>
			<b>TOTAL</b>	<b>2,035.0m<sup>2</sup></b>

**21,905.0ft<sup>2</sup>**

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## View looking north along footpath

Application site

Durrell Drive



## View looking south along foot path

Durrell Drive

Application site



Entrance to application site



## Site entrance in context with Coventry Road

Entrance to application site

