

Legend

 Site Boundary



PROJECT: Primary Care Development, Brownsover, Rugby
CLIENT: NHS Property Services
TITLE: Site Location Plan
SCALE: 1:1250 @ A4
DWG #: 1279-DB-XX-ZZ-DR-A-053
The Design Buro (Coventry) Ltd
 5 Euston Place, Leamington Spa, CV32 4LN
PHONE: 01788 555350 / **WEB:** www.thedesignburo.co.uk



Notes:

This drawing is to be read in conjunction with all other consultants engineers and specialist sub contractors drawings. All items are to be cross referenced throughout design, tender, construction.

Any discrepancies whatsoever discovered must be reported to the Main Contractor or Contract Administrator (CA) as soon as they become apparent.

The main contractor is responsible for checking all dimensions prior to commencement of work.

All specified manufacturers are s.a.s. (or similar approved) s.a.s. (or equal approved) whether stated or not. Any equipment product or manufacturer must be approved in writing by the CA before use.

Grid Lines are generally inside face of blockwork.

All movement joints are 10mm wide and controlled within vertical brickwork perpends. For movement joints within structural frame refer to structural engineers drawings.

All steelwork shown on these drawings is based on structural philosophy it is to be fully designed, detailed, dimensioned by others. Refer to structural engineers plans for up to date structural design. Refer to setting out plans for grid lines and brickwork setting out.

All drawings are to be read in conjunction with the specific NBS (national building specification)

Legend:

Rev No	Date	Revision Details	Author
P1.2	17/02/17	Amended to Reflect Updated Layout	SP
P1.1	01/02/17	FIRST ISSUE	SP

Status	Purpose For Issue
P1	FOR INFORMATION

**T · H · E
DESIGN
B · U · R · O**

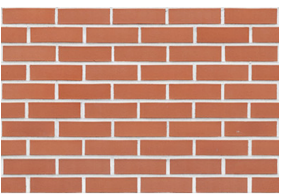




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Client	NHS Property Services		
Job Ref	Primary Care Development, Brownsover, Rugby		
Dwg Title	Illustrative Landscape Masterplan		
Drawn	Date	Checked	Date
SP	FEB 2017	TP	FEB 2017
Scale:Size	1:100 @ A1		

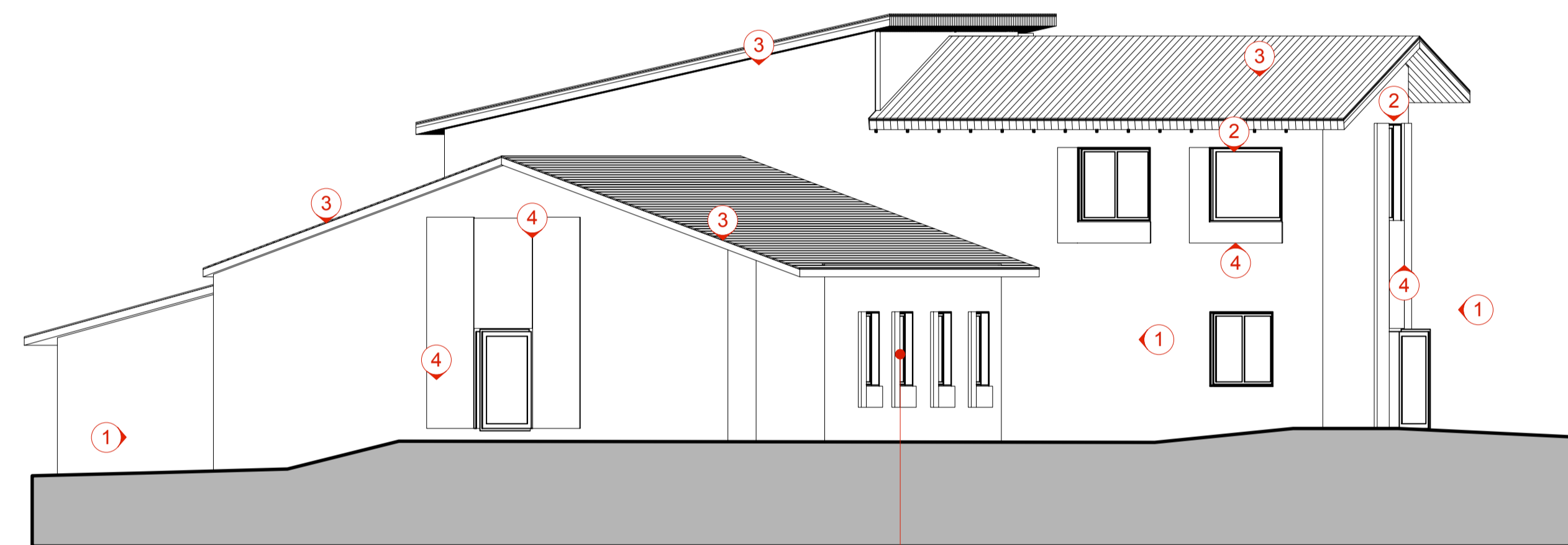
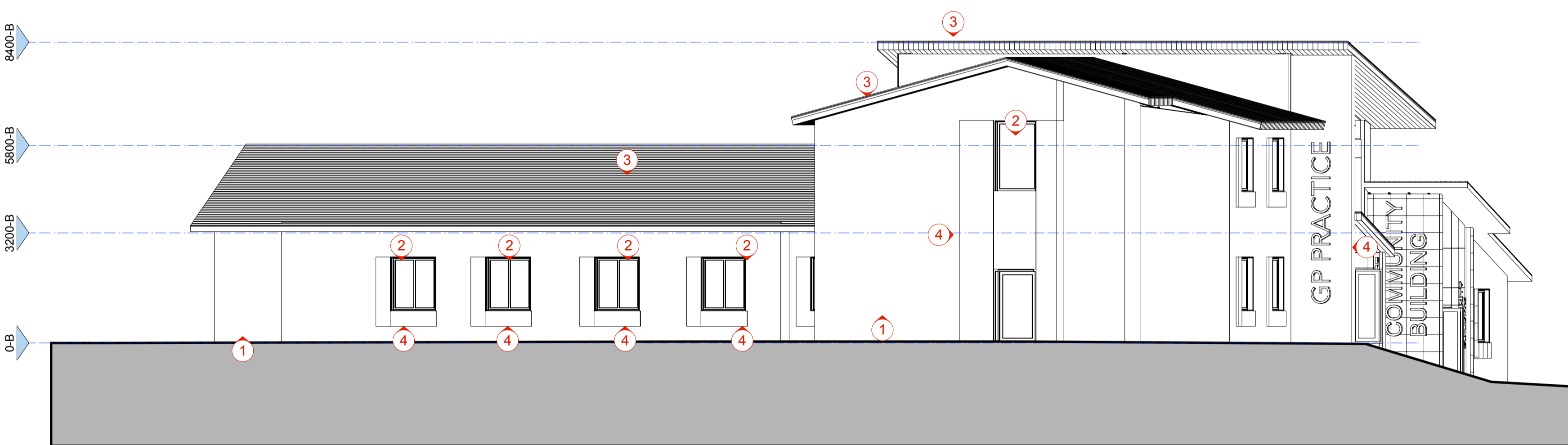
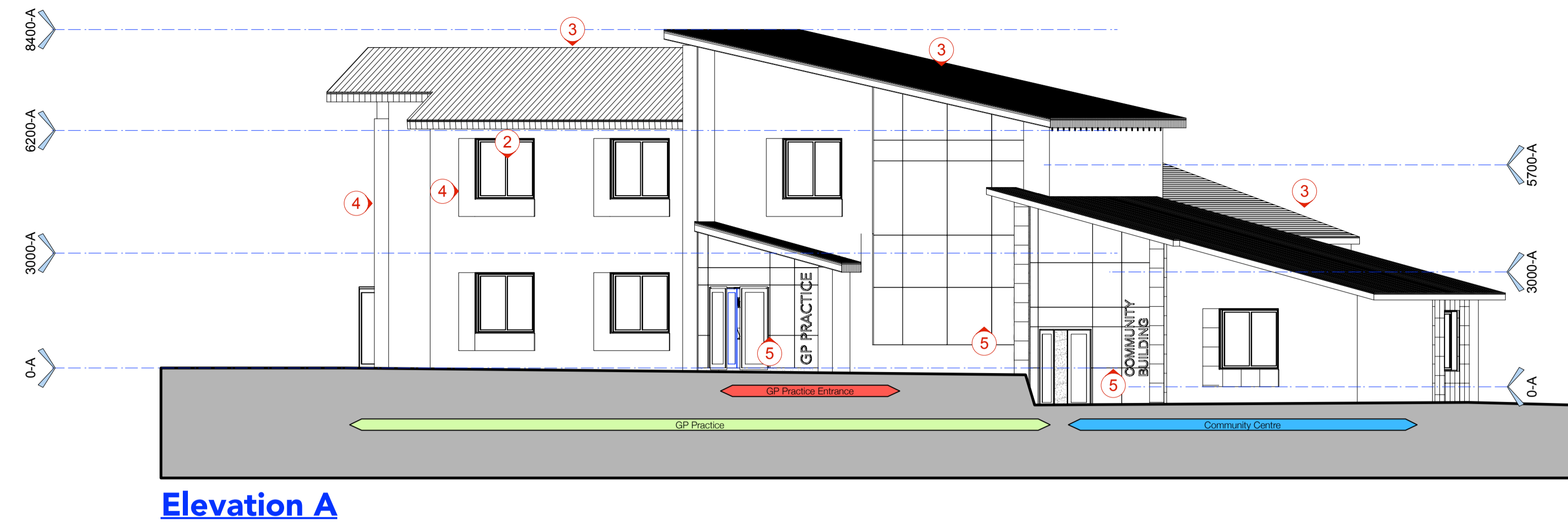
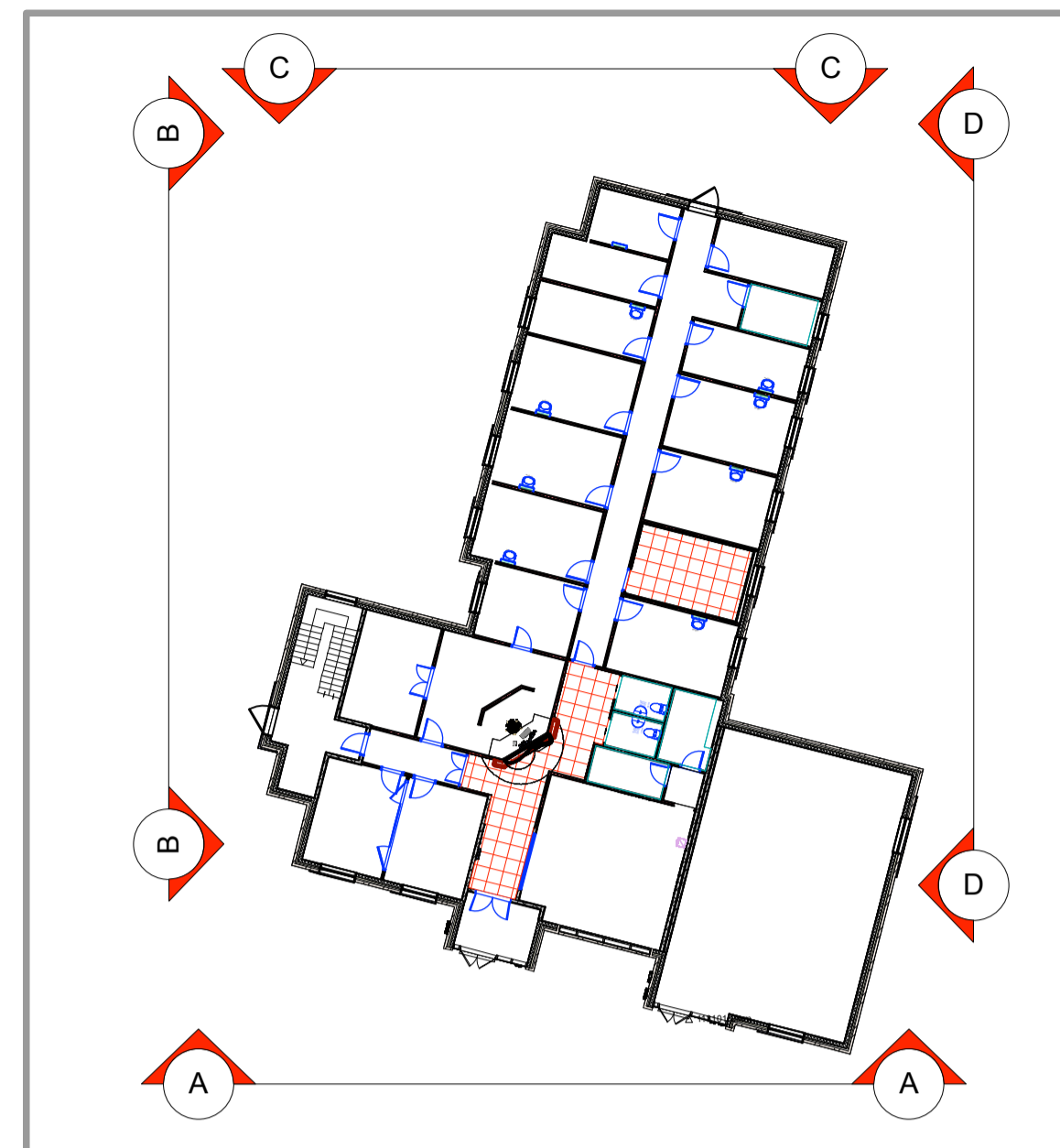
Drawing Number	Revision
1279-DB-XX-XX-DR-A-026	P1.2

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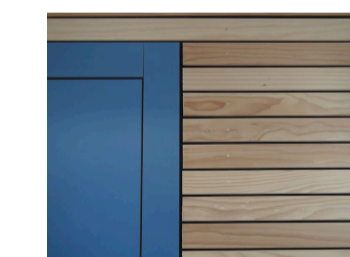
Materials Key:

-  **1 Walls**
Proposed External facing brickwork
-  **2 Windows**
Proposed aluminium windows
-  **3 Roof**
Concrete interlocking tiles
-  **4 Cladding**
Timber (window surrounds) - GP Practice
Metal Cladding Panels- Community Centre
-  **5 Glazing**
Curtain wall glazing

Elevational Key:



Cladding
Timber window surrounds.



Notes:
This drawing is to be read in conjunction with all other consultants engineers and specialist sub contractors drawings. All items to be made in accordance with the relevant standards.
Any discrepancies, amendments or omissions must be reported to the Main Contractor or Contract Administrator (CA) as soon as they become apparent.
The main contractor is responsible for checking all dimensions prior to commencement of work.
All specified manufacturers are a.s.a. (or similar approved) a.s.a. (or similar approved) whether stated or not. Any equivalent product or manufacturer must be approved in writing by the Client before use.
Grid Lines are generally inside face of brickwork.
All movement joints are shown with and connected with vertical brickwork panels. For movement joints within structural frame refer to structural engineers drawings.
All elements shown on these drawings are based on structural photographs. It is to be fully inspected, checked, dimensioned by other. Refer to structural engineers plans for all other structural details. Refer to setting out plans for grid lines and levels.
All drawings are to be read in conjunction with the specific NBS (national building specifications).

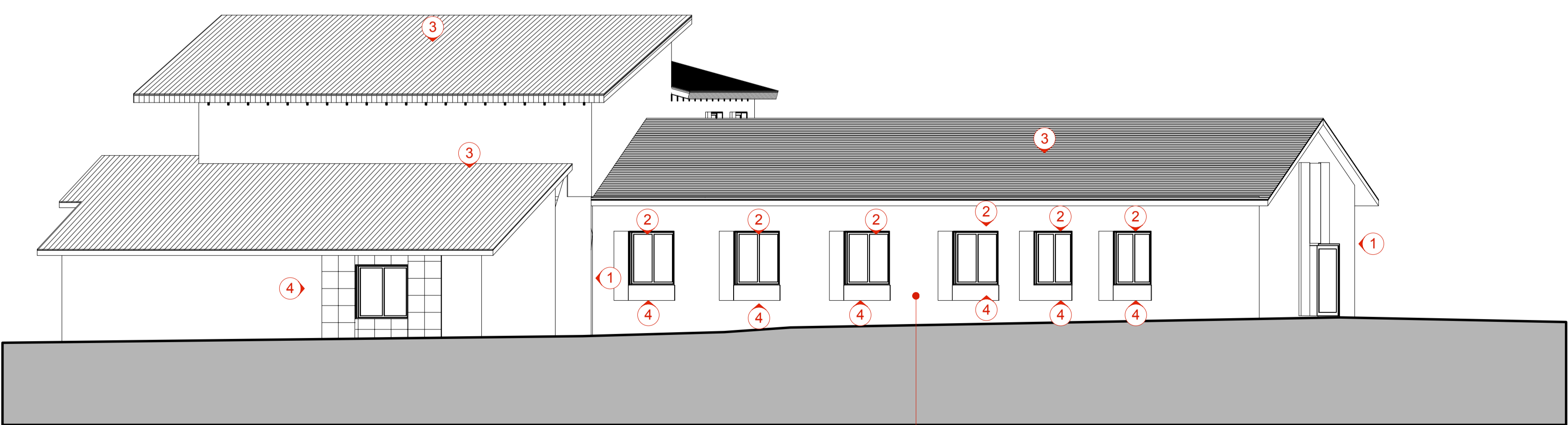
Rev. No.	Date	Revision Details	Author
P1.1	02-Feb-17	Initial Issues	LS
P1.2	10-Feb-17	Elevations revised	LS
P1.3	13-Mar-17	Planning Submission	LS

Status: **S2** Purpose For Issue
For Information



Client:	NHS Property Services						
Job Ref:	Primary Care Development Brownsover, Rugby						
Drawn Title:	Proposed Elevations						
Drawn:	LS	Date:	Feb 17	Checked:	TP	Date:	Feb 17
Scale/Size:		1:100 @ A1					

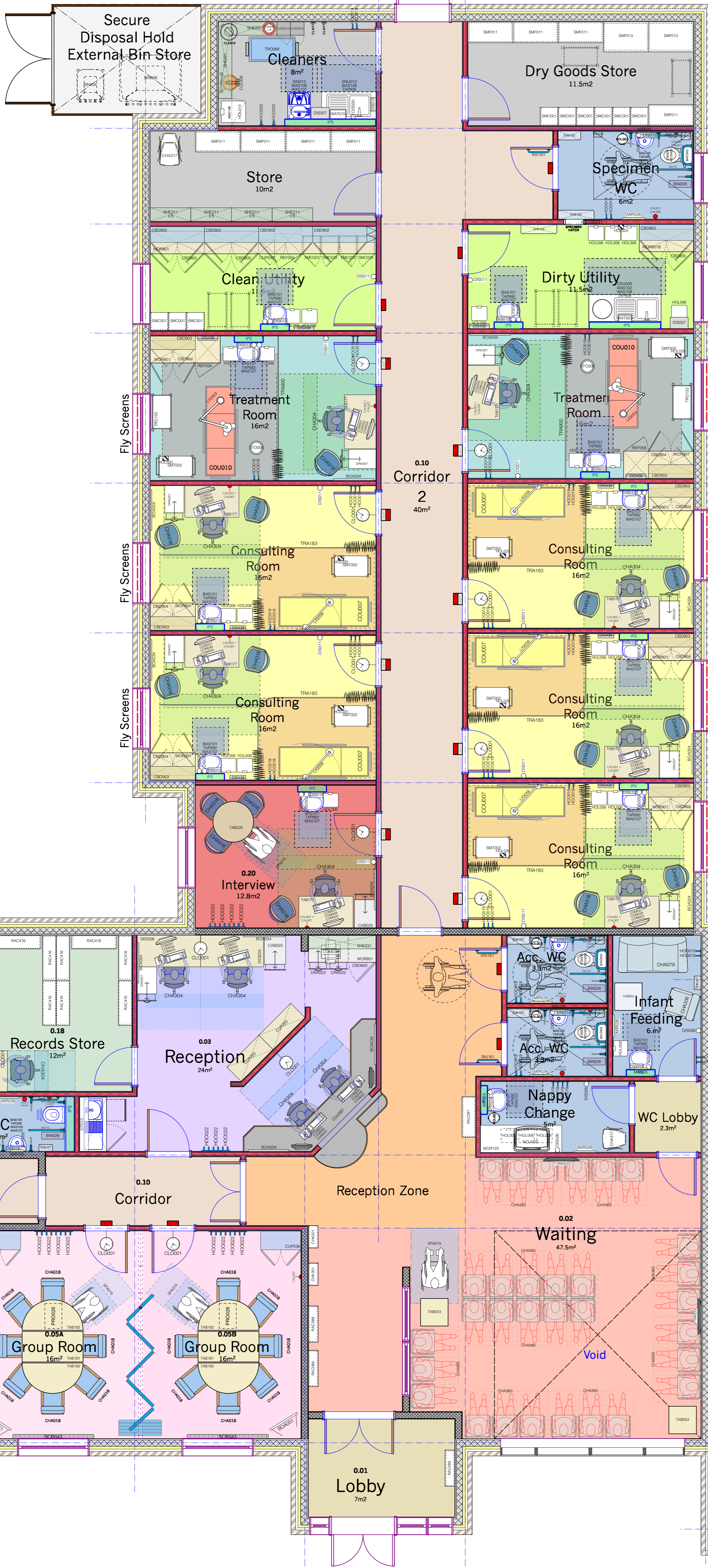
Drawing Number:	1276-DB-XX-XX-DR-A-028	Revision:	P1.3
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Cladding
Timber window surrounds.

Elevation D

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Notes
 This drawing is to be read in conjunction with all other consultants engineers and specialist sub-contractors drawings. All items are to be installed in accordance with the manufacturer's instructions.
 Any discrepancies between drawings must be reported to the Main Contractor or Contract Administrator (CA) as soon as they become apparent.
 The main contractor is responsible for checking all dimensions prior to commencement of work.
 All specialist manufacturers are to be specified (or similar approval) in a separate schedule of materials. All items must be approved by the architect before installation.
 All drawings shown on these drawings are based on structural information to be checked by the contractor. All dimensions shown are to be checked by the contractor. All dimensions shown are to be checked by the contractor.
 All drawings are to be read in conjunction with the specific M&E (mechanical and electrical) building specifications.

Rev. No.	Date	Revision Details	Author
P1.1	30 Jan 17	Initial Issue	LS
P1.2	1 Feb 17	Cleaners room increased. Lift added. clean and dirty utility relocated closer to treatment rooms.	LS
P1.3	10 Feb 17	Revised following DCI, Consult & Treatment Room layout issued. Entrance doors move to front. Loading dock added to Community Centre.	LS
P1.4	17 Feb 17	Revised: Wall between GP Practice and Community Building	LS
P1.5	13 Mar 17	Revised: PLANNING ISSUE	LS
P1.6	27 Apr 17	Revised fix and fit layouts and information.	HE
P1.7	3 May 17	Revised fix and fit layouts and information.	HE

Status: S2 Purpose For Issue For Information



Client	Project Name	Drawn	Date	Checked	Date
NHS Property Services	Primary Care Development Brownsover, Rugby	LS	Feb 17	TP	Feb 17

Drawing Number: 1279-DB-ZZ-XX-DR-A-015 Revision: P1.7

Notes
 This drawing is to be read in conjunction with all other consultants engineers and specialist sub-contractors drawings. All items are to be checked against the relevant specifications and standards.
 Any discrepancies whatsoever must be reported to the Main Contractor or Contract Administrator (CA) as soon as they become apparent.
 The main contractor is responsible for checking all dimensions prior to commencement of work.
 All specified manufacturers are to be used unless approved in writing by the architect. Any alternative product or manufacturer must be approved in writing by the CA before use.
 All dimensions are given in millimetres unless otherwise stated.
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Rev. No.	Date	Revision Details	Author
P1.1	10-Jan-17	Initial Issue	LS
P1.2	1-Feb-17	Cleaners room increased. Lift added, clean and dirty utility relocated closer to treatment rooms.	LS
P1.3	10-Feb-17	Revised following DDC Consult & Treatment Room layout revised. Entrance doors move to front. Loaded trolleys added to Community Centre.	LS
P1.4	17-Feb-17	Wall between GP Practice and Community Building Revised	LS
P1.5	13-Mar-17	PLANNING ISSUE	LS
P1.6	27-Apr-17	Revised fit and fit layouts and information.	HH
P1.7	3-May-17	Revised fit and fit layouts and information.	HH



Status: S2 Purpose For Issue
 For Information



NHS Property Services			
Client	Job Ref	Drawn	Checked
NHS Property Services	Primary Care Development Browsover, Rugby	LS	TP
Drawn	Date	Checked	Date
LS	Feb 17	TP	Feb 17
Scale/Size	1:50 @ A1		




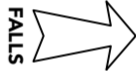

Drawing Number	Revision
1279-DB-ZZ-XX-DR-A-016	P1.7

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 All drawings are to be read in conjunction with site specific NBS (national building specification)

Rev No	Date	Revision Details	Author
P1.1	13-Mar-17	Issued For Planning	LS

Key:

-  **Roof**
Concrete interlocking tiles
-  **Gutter**
Site formed drainage gutter. 150mm
-  **Rain Water Pipe**
RWP
-  **Roof Falls**
Falling to grainage gutter and RWP
-  **PV Panels**
Area TBC

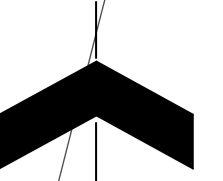


Status	Purpose For Issue
S2	For Information


architects
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 Telephone: 01788 555 350
www.designburo-architects.co.uk

Client	NHS Property Services		
Job Ref	Primary Care Development Brownsover, Rugby		
Dwg Title	Roof Plan		
Drawn	Date	Checked	Date
LS	Feb 17	TP	Feb 17
Scale:Size	1:100 @ A2		

Drawing Number	Revision
1279-DB-ZZ-XX-DR-A-047	P1.1



- Shrub Planting Mix B - Plant as Shown at 800mm Centres.**
- 10% Sarcococca confusa
 - 20% Pachysandra terminalis
 - 20% Epimedium pinnatum
 - 20% Cornus sanguinea 'Midwinter Fire'
 - 20% Bergenia cordifolia
 - 10% Euonymus fortunei 'Emerald Gaiety'

- Hedge Planting - Plant in Staggered Row at 500mm centres**
- 100% Carpinus betulus

- Shrub Planting Mix B - Plant as Shown at 800mm Centres**
- 10% Sarcococca confusa
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 - 20% Epimedium pinnatum
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 - 10% Euonymus fortunei 'Emerald Gaiety'

- Hedge Planting - Plant in Staggered Row at 500mm centres**
- 100% Carpinus betulus

- Herbaceous Planting Mix A - Plant as Shown at 500mm Centres**
- 10% Alchemilla mollis
 - 5% Euphorbia characias
 - 10% Stipa ichu
 - 5% Calamagrostis x acutiflora 'Karl Foerster'
 - 10% Sedum 'Autumn Joy'
 - 10% Phlomis russeliana
 - 7.5% Perovskia atriplicifolia 'Blue Spire'
 - 7.5% Helenium 'Waltraut'
 - 7.5% Stachys byzantina
 - 5% Agastache 'Blue Fortune'
 - 7.5% Rudbeckia fuldiga 'Goldsturm'
 - 5% Lavendula angustifolia
 - 5% Persicaria amplexicaulis 'Firetail'
 - 5% Geranium maculatum

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 - 7.5% Rudbeckia fuldiga 'Goldsturm'
 - 5% Lavendula angustifolia
 - 5% Persicaria amplexicaulis 'Firetail'
 - 5% Geranium maculatum

- Wildflower Swale Planting - Seasonally Wet Soils**
- 50% Lythrum salicaria
 - 30% Leucanthemum vulgare
 - 20% Emorsgate EL1 - Flowering Lawn Mixture

- Amenity Lawn - Edging to Wildflower Swale**
- Emorsgate EL1 - Flowering Lawn Mixture (Responds well to regular short mowing)

- Hedge Planting - Plant in Row at 500mm centres**
- 100% Carpinus betulus

- Specimen Trees - arranged in Informal Avenue**
- Betula utilis var. jacquemontii

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- Legend:**
- Site Boundary
 - + 117.3 Existing Spot Height
 - (+117.3) Proposed Spot Height
 - Existing Tree To Be Retained
 - Proposed Tree

- PLANTING**
- Herbaceous Planting Mix A
 - Shrub Planting Mix B
 - Deciduous Hedge
 - Flowering Amenity Lawn
 - SUDS Swale Wildflowers

- OTHER LANDSCAPE FEATURES**
- Proposed Slope
 - SUDS Swale

P1.1	01/04/17	FIRST ISSUE	HH
Rev No	Date	Revision Details	Author

Status	Purpose For Issue
P1	FOR INFORMATION

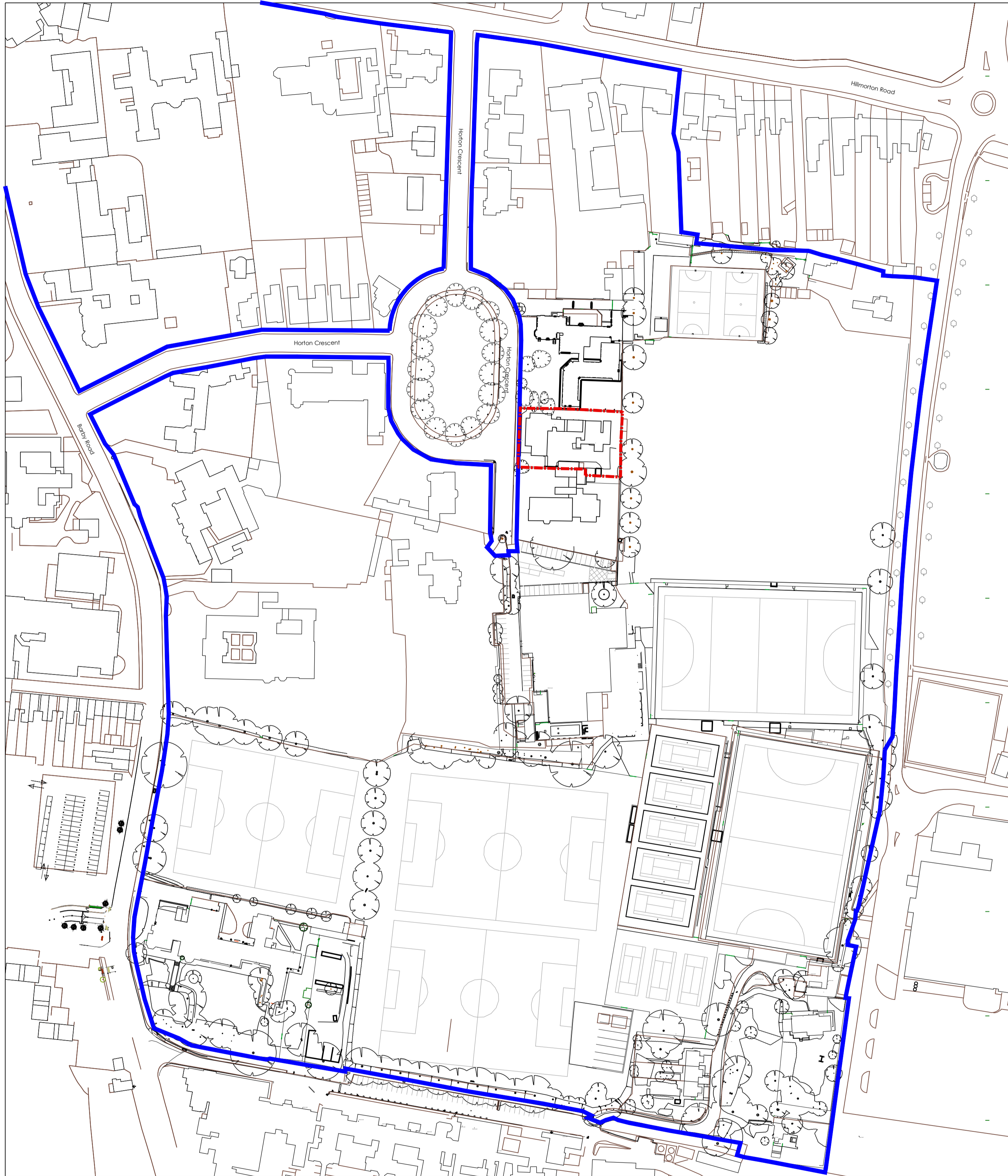
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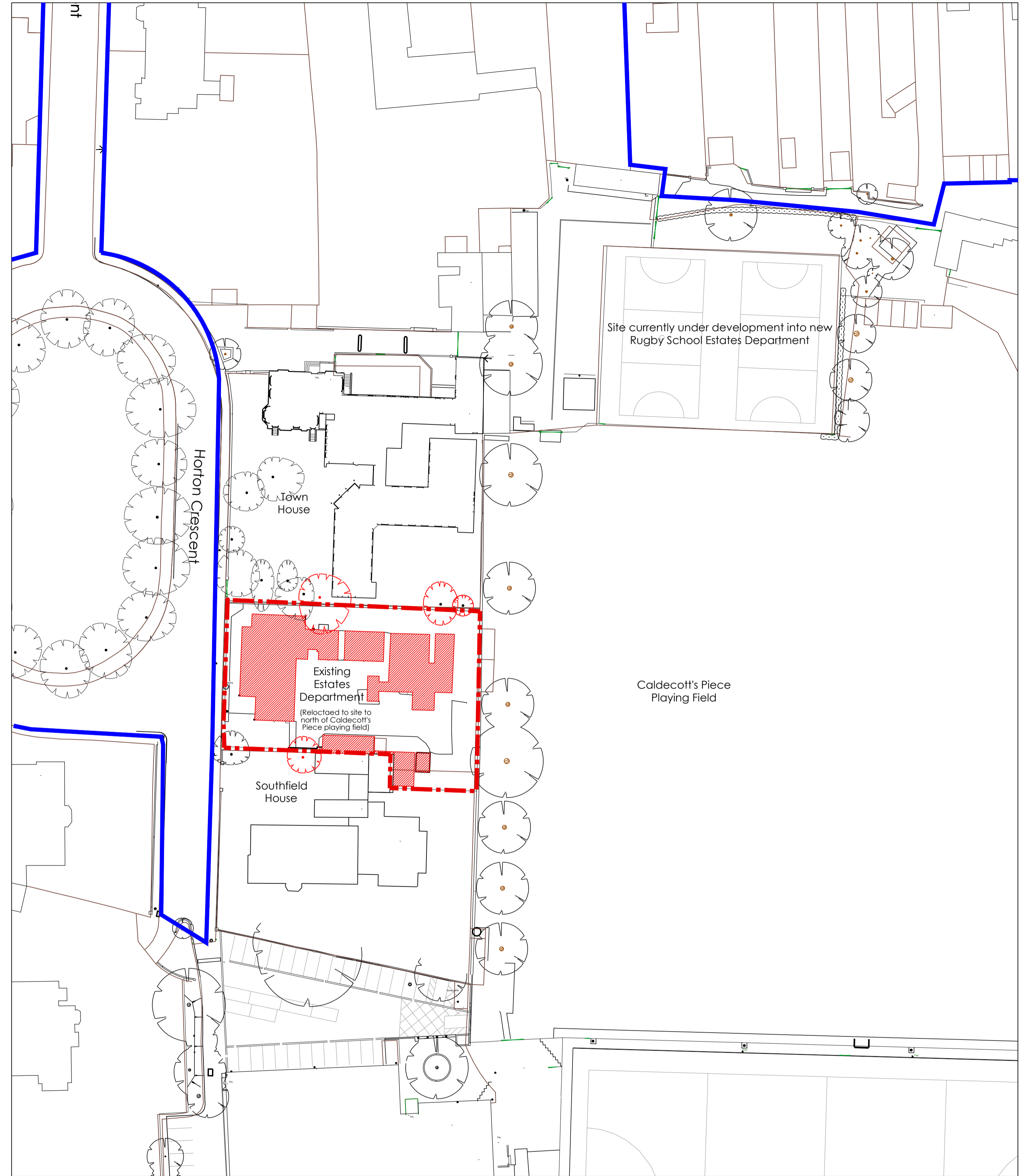
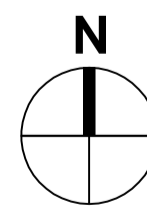
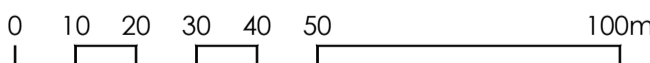
Client	NHS Property Services		
Job Ref	Primary Care Development, Brownsver, Rugby		
Dwg Title	Proposed Landscape Planting Plan		
Drawn	Date	Checked	Date
SP	FEB 2017	TP	FEB 2017
Scale/Size	1:100 @ A1		

Drawing Number	Revision
1279-DB-XX-DR-A-046	P1.1

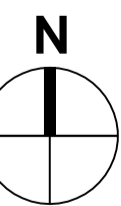
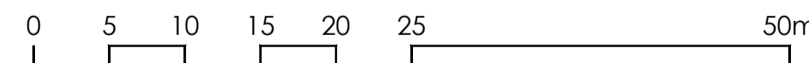
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Existing Location Plan
1:1250



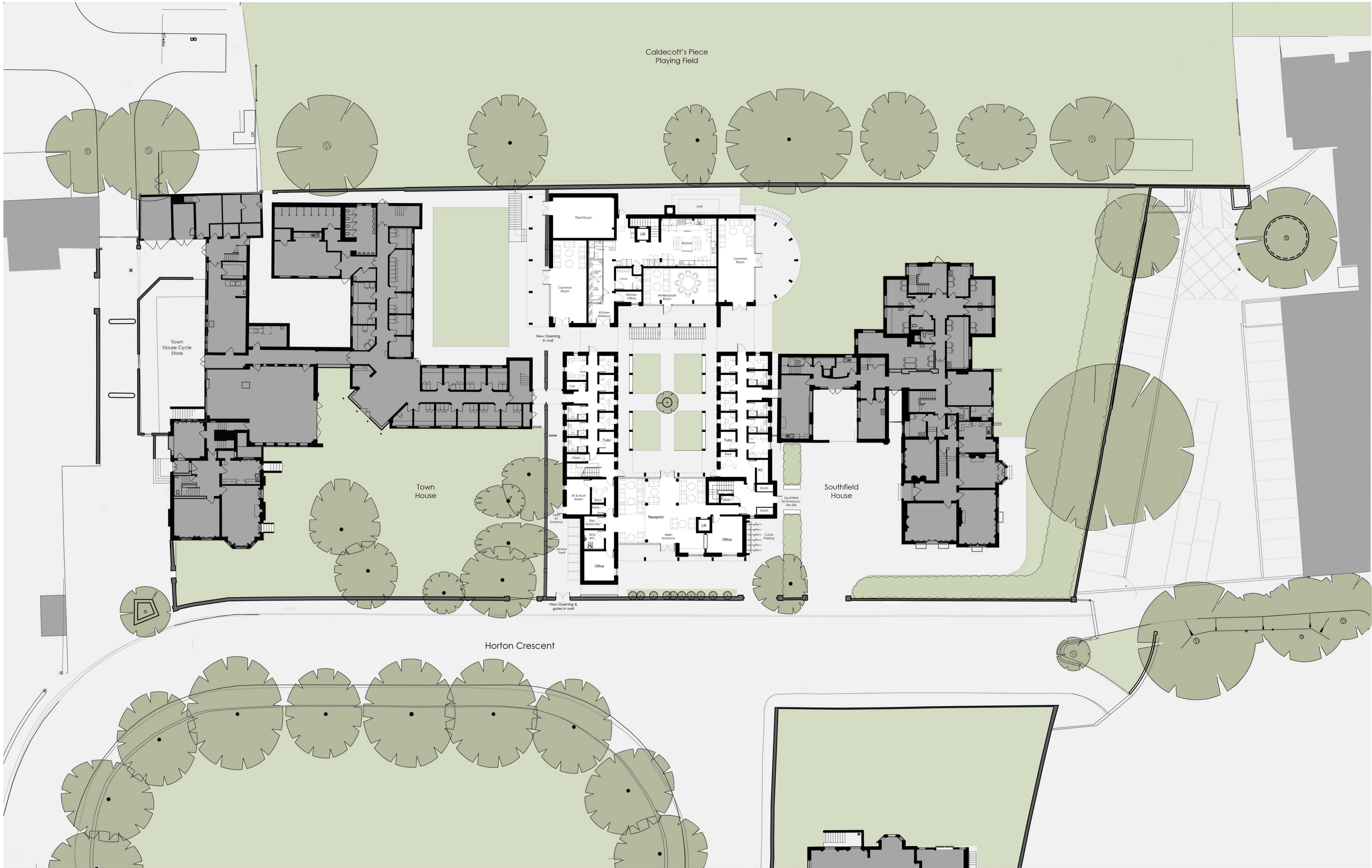
Existing Block & Demolition Plan
1:500



Key	
	Site Boundary
	Adjacent area under ownership of applicant
	To be demolished
	Tree to be removed



Rugby School	Date: March 2017
Day Houses	Scale: As Noted @ A1
Existing Site Location and Block & Demolition Plan	Status: Planning
2016020 - A - P - 03 - P001	Drawn: TM
	Revision:

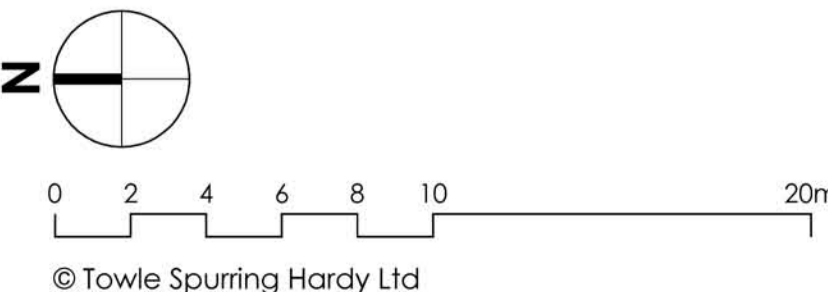


Caldecott's Piece
Playing Field

Town House

Southfield House

Horton Crescent

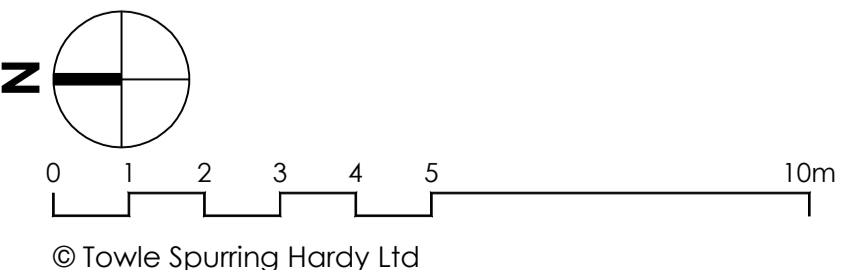
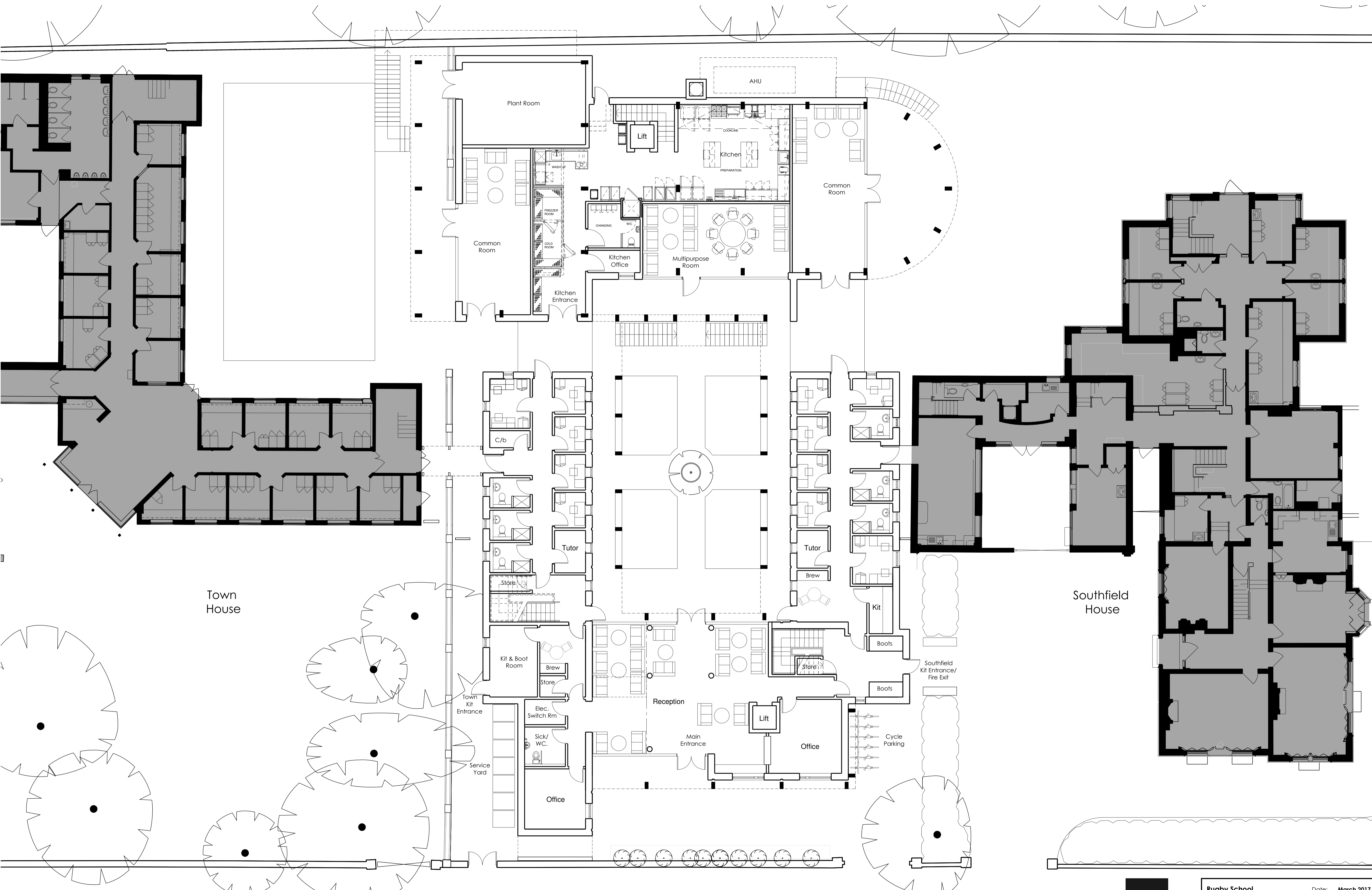


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Rugby School Day Houses	Date: March 2017
Proposed Site Plan	Scale: 1:200@A1
2016020 - A - P - 03 - 003	Status: Planning
	Drawn: TM
	Revision:

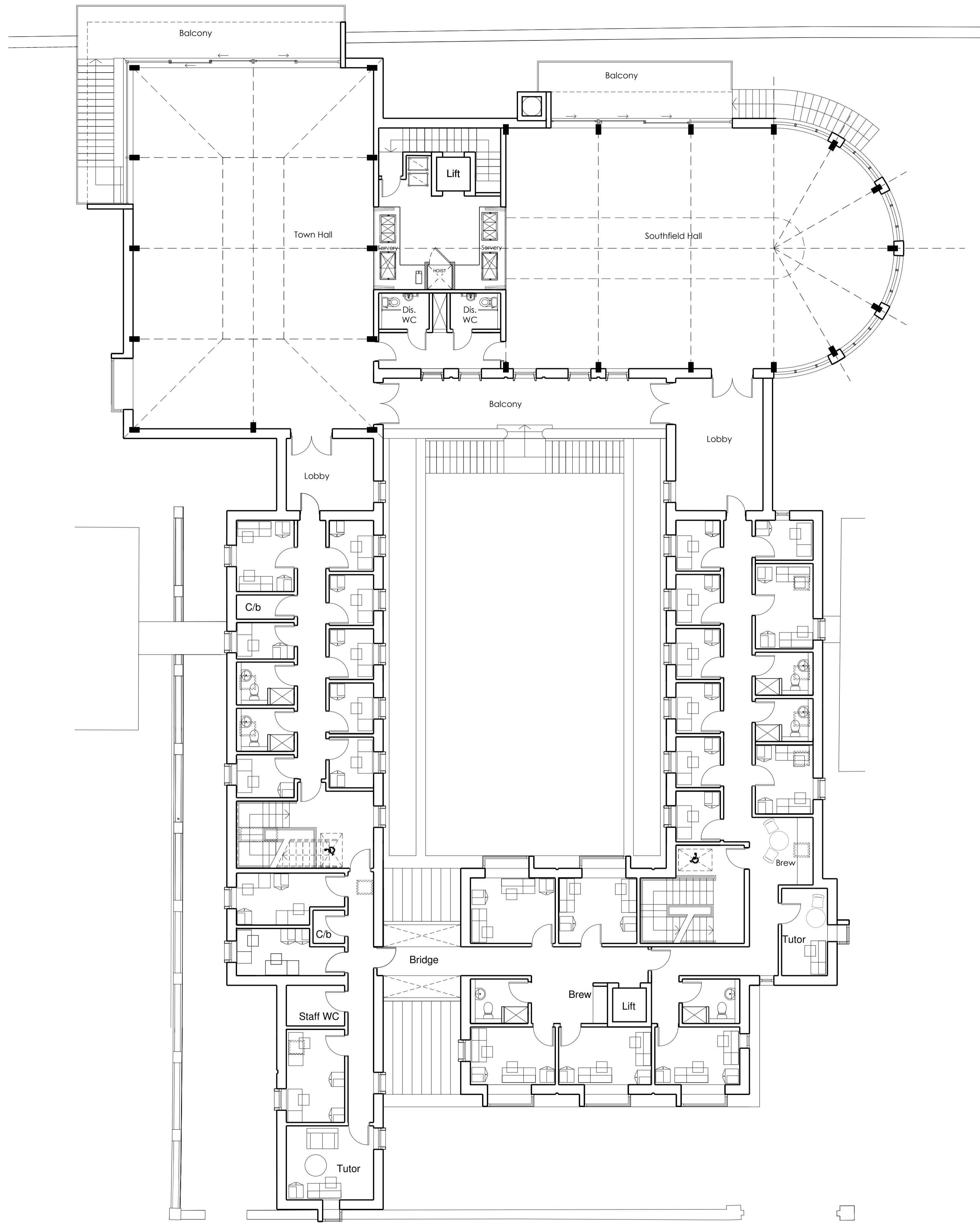


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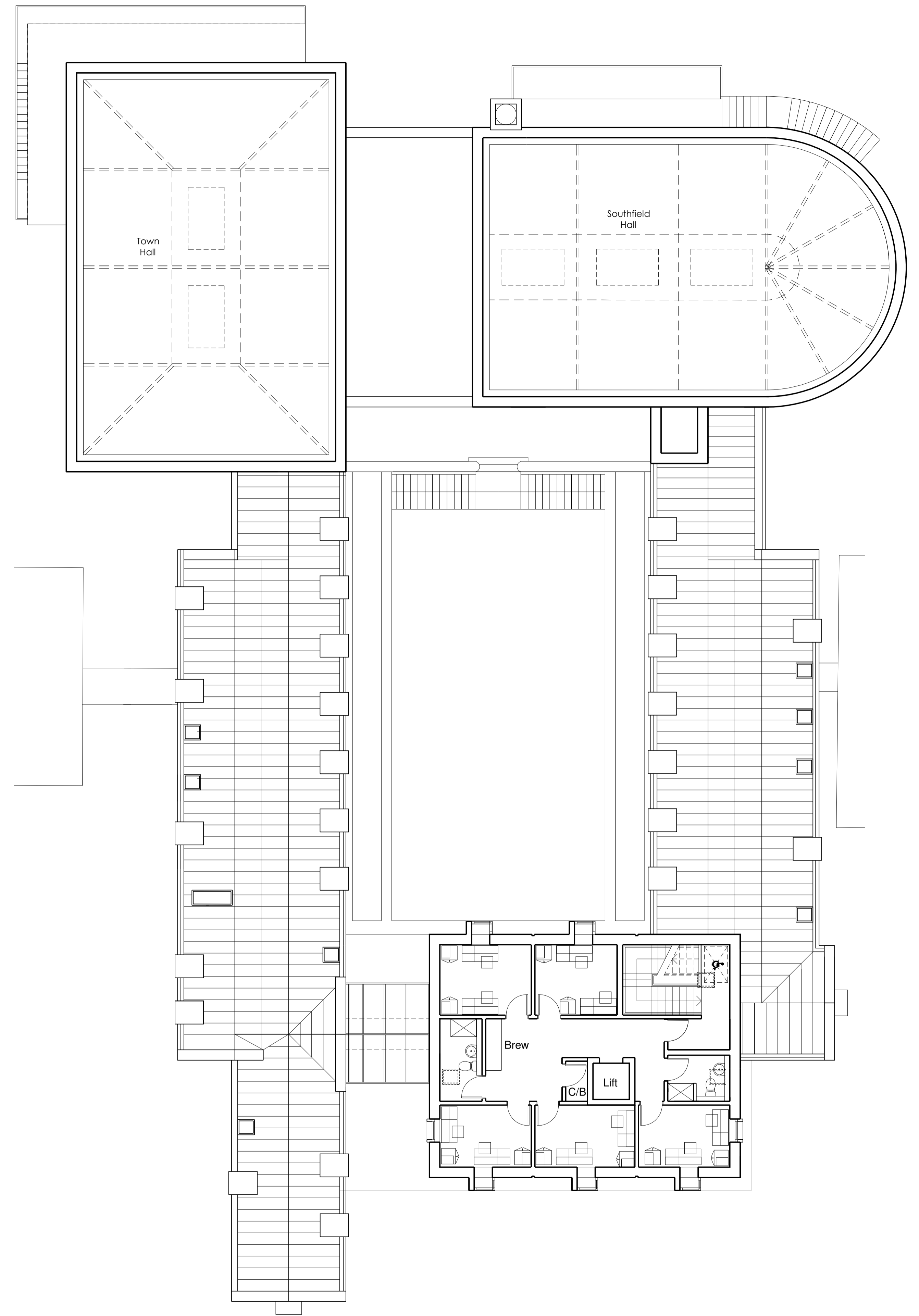


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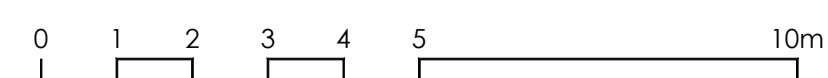
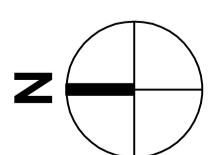
Rugby School	Date: March 2017
Day Houses	Scale: 1:100@A1
Ground Floor Plan	Status: Planning
2016020 - A - P - 03 - 100	Drawn: TM
	Revision:



First Floor Plan



Second Floor Plan

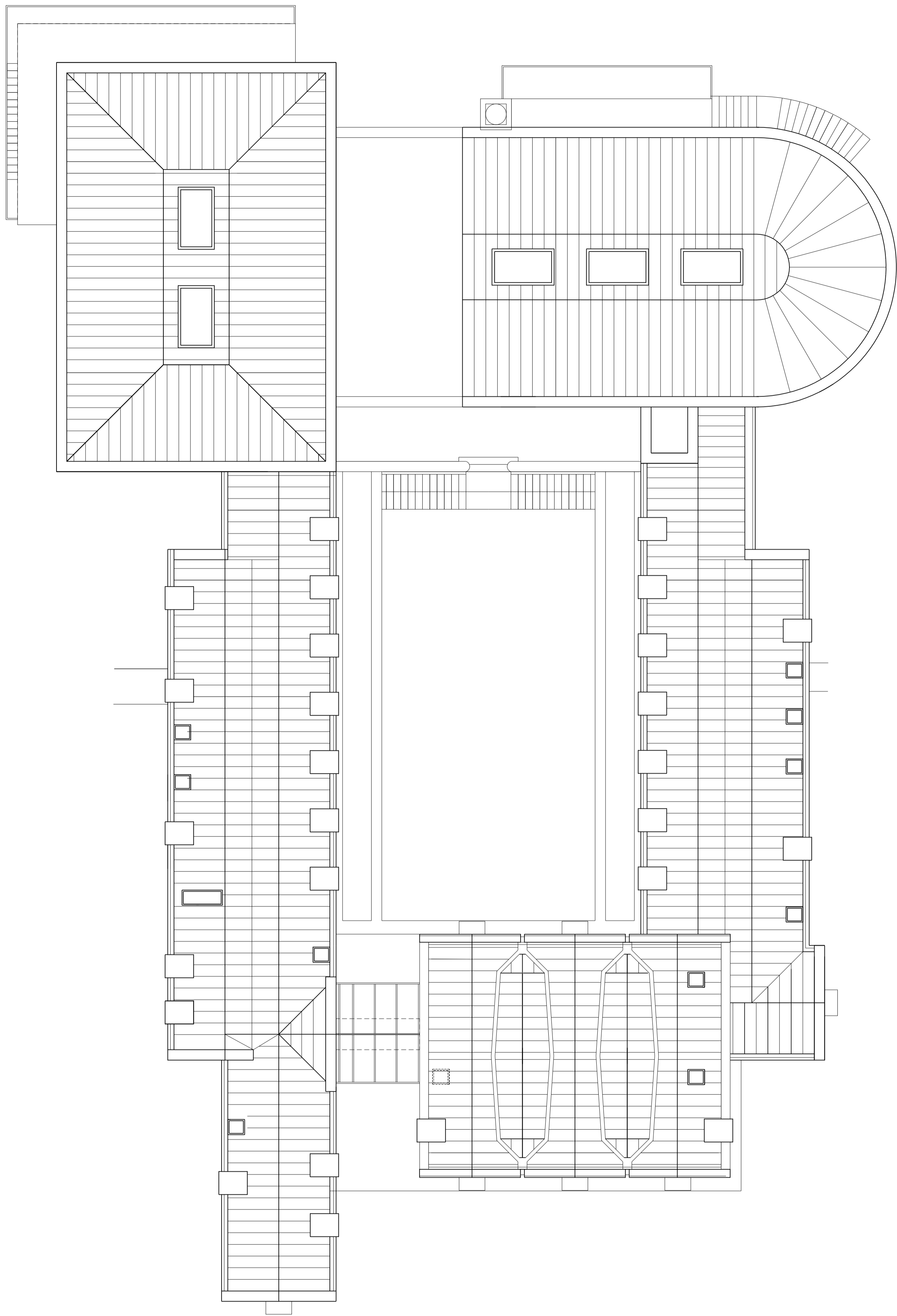


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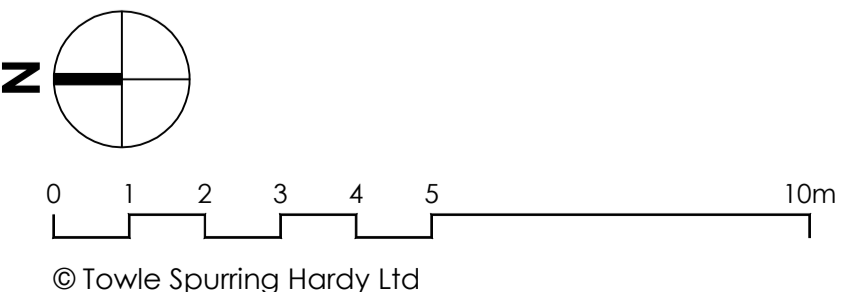


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Rugby School	Date: March 2017
Day Houses	Scale: 1:100@A1
1st & 2nd Floor Plans	Status: Planning
2016020 - A - P - 03 - 101	Drawn: TM
	Revision:



Roof Plan



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Rugby School	Date: March 2017
Day Houses	Scale: 1:100@A1
Roof Plan	Status: Planning
2015000 - A - P - 03 - 102	Drawn: TM
	Revision:



Elevation A
1:200
Horton Crescent Boundary wall omitted for clarity

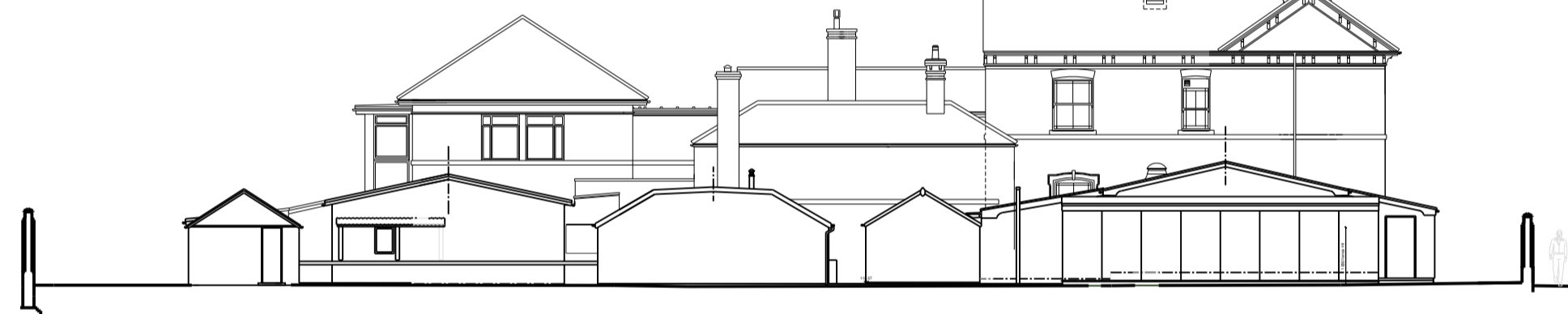
Town House

Estates Site

Southfield



Elevation B
1:200



Elevation C
1:200

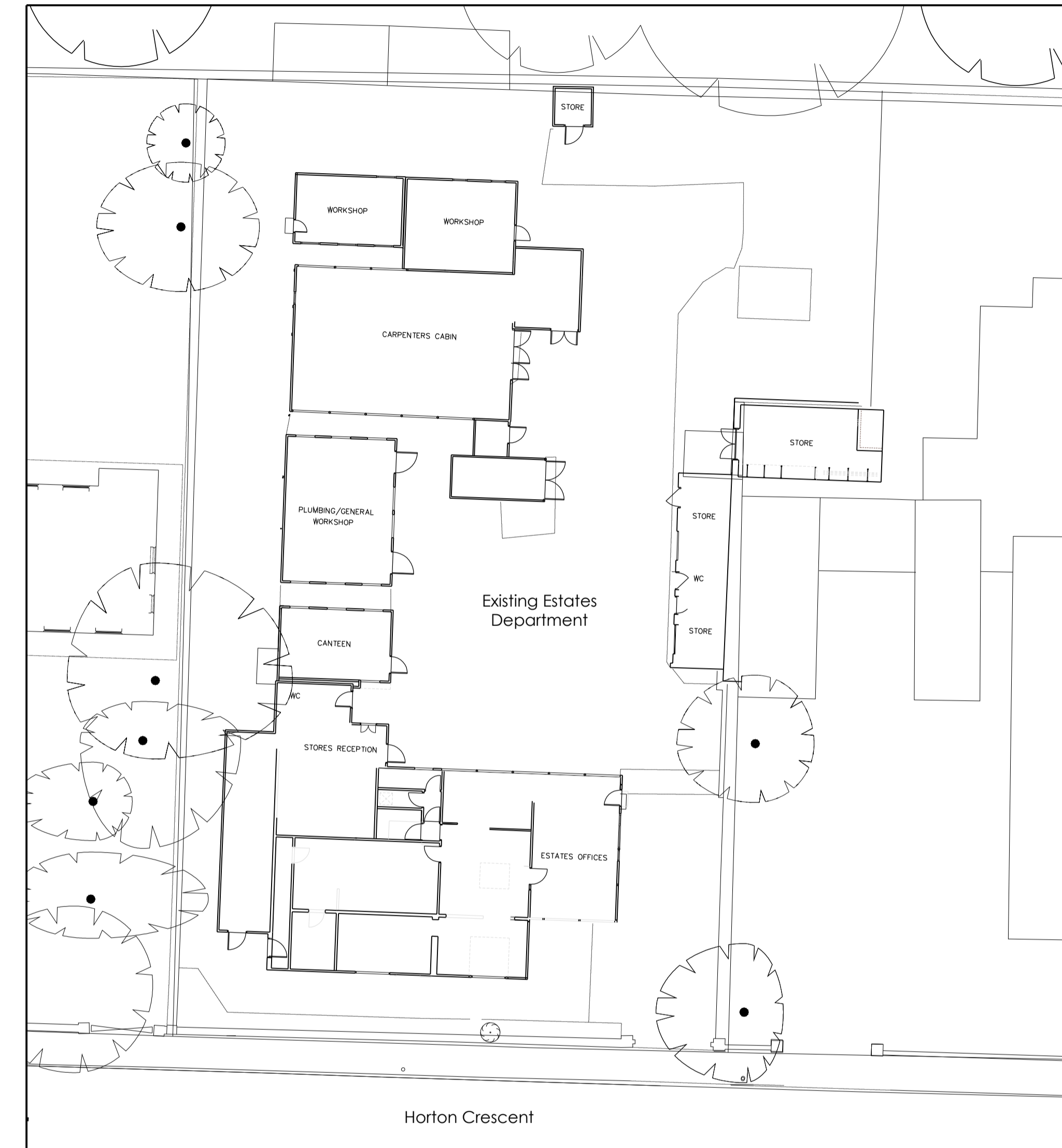


Elevation D
1:200
Rear Boundary wall omitted for clarity

Southfield

Estates Site

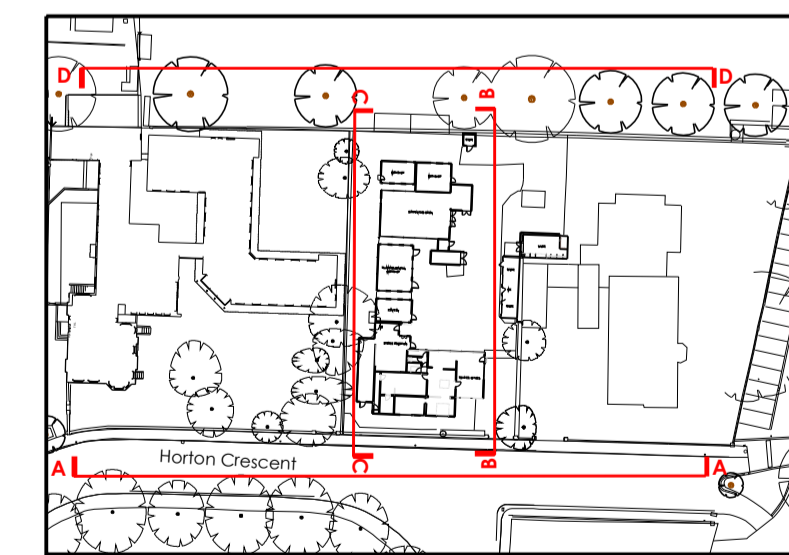
Town House



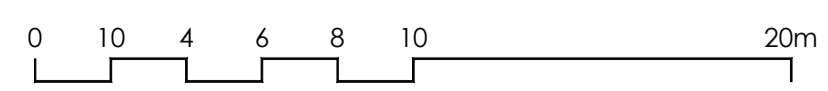
Existing Plan
1:200

Horton Crescent

Existing Estates Department



Key Plan



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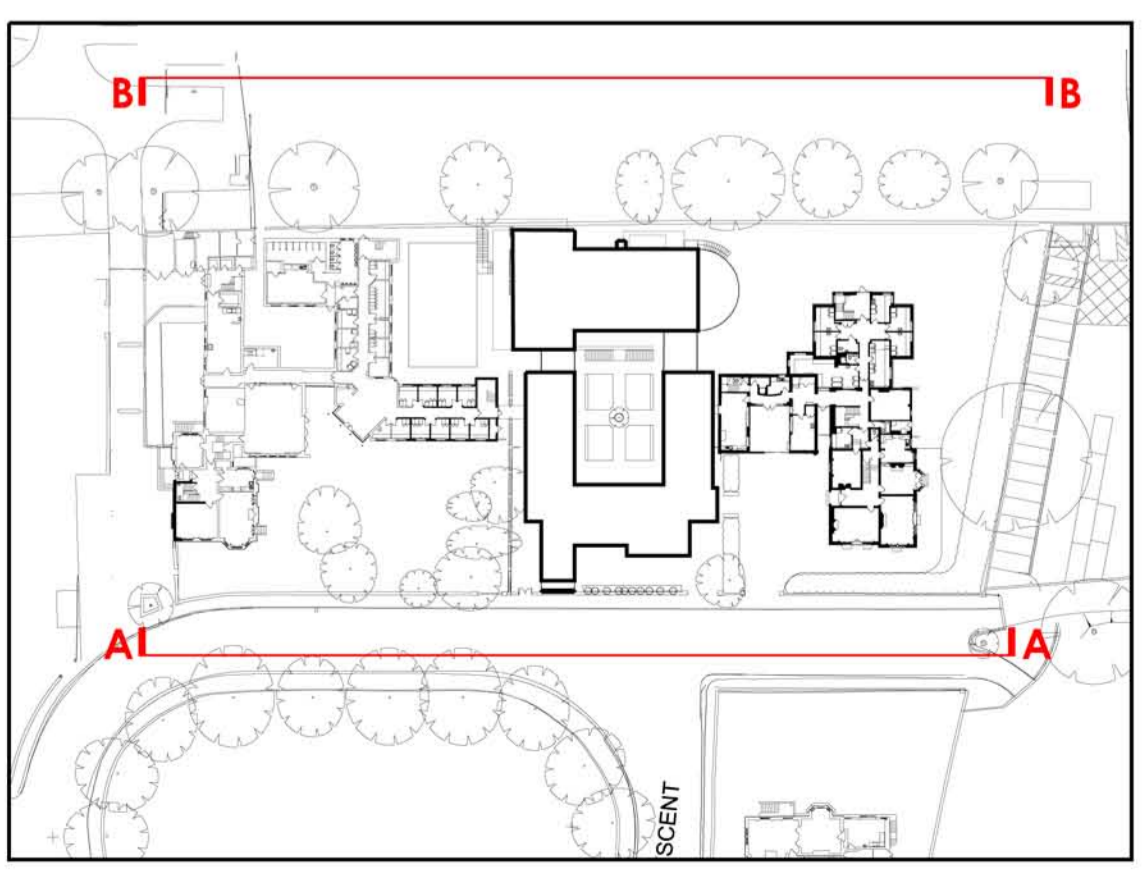
Rugby School	Date: March 2017
Day Houses	Scale: 1:200@A1
Existing Plan & Elevations	Status: Planning
2016020 - A - P - 05 - 200	Drawn: TM
	Revision:



Front Elevation



Rear Elevation

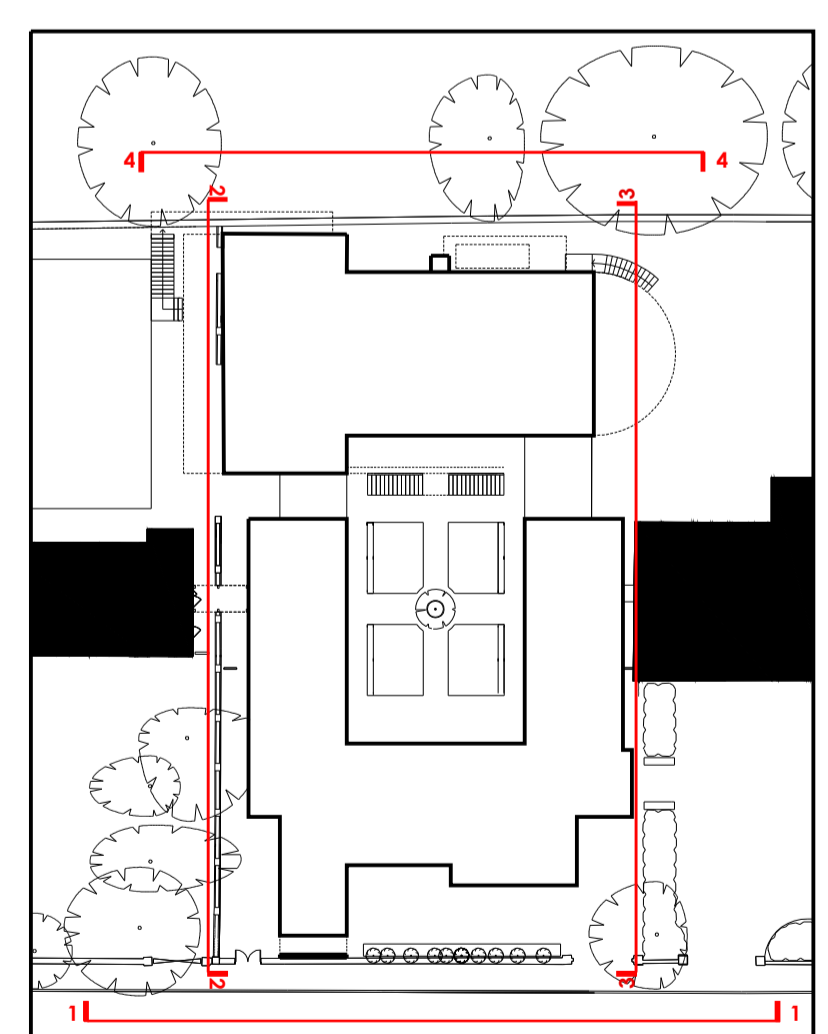
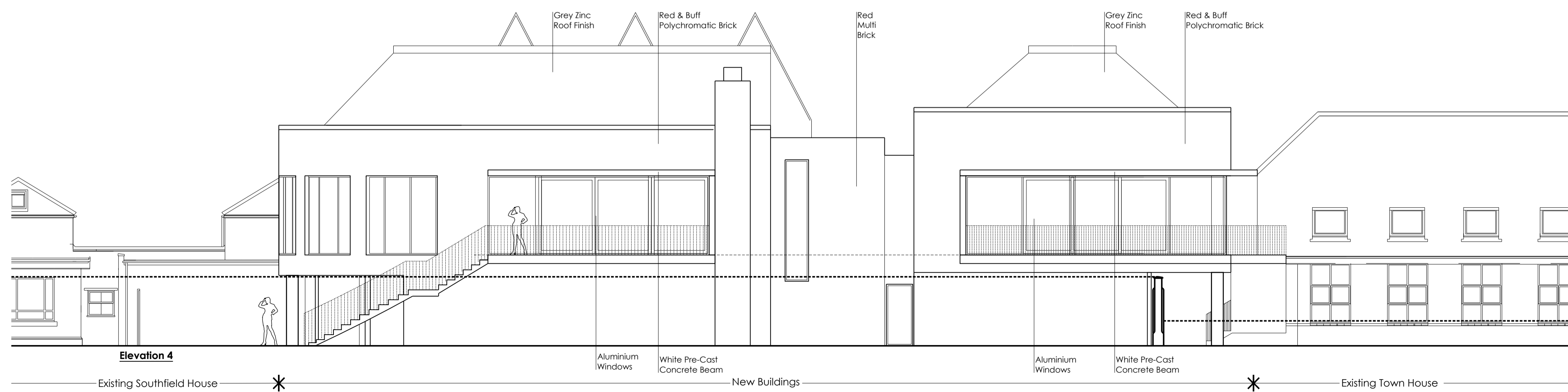
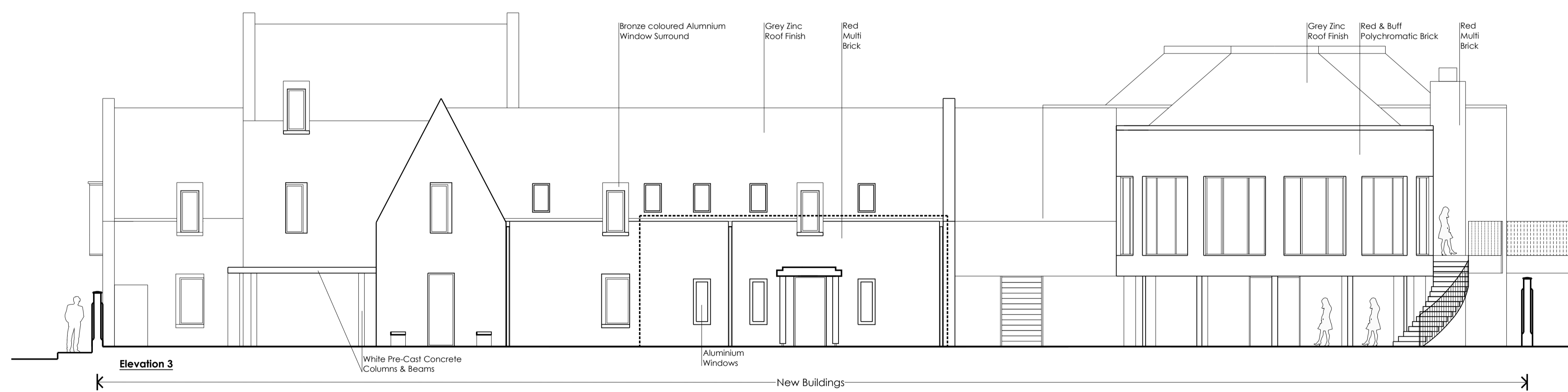
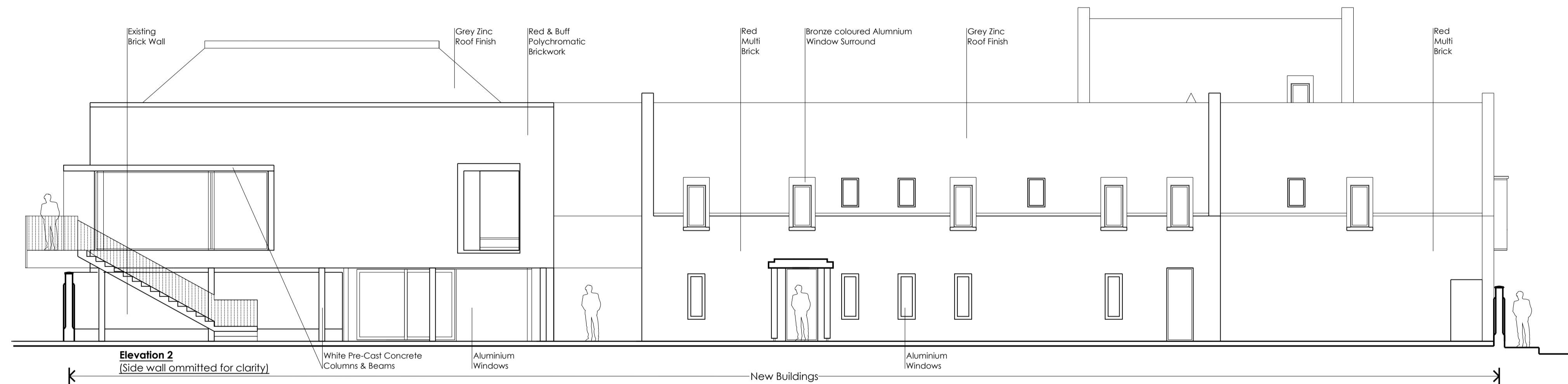
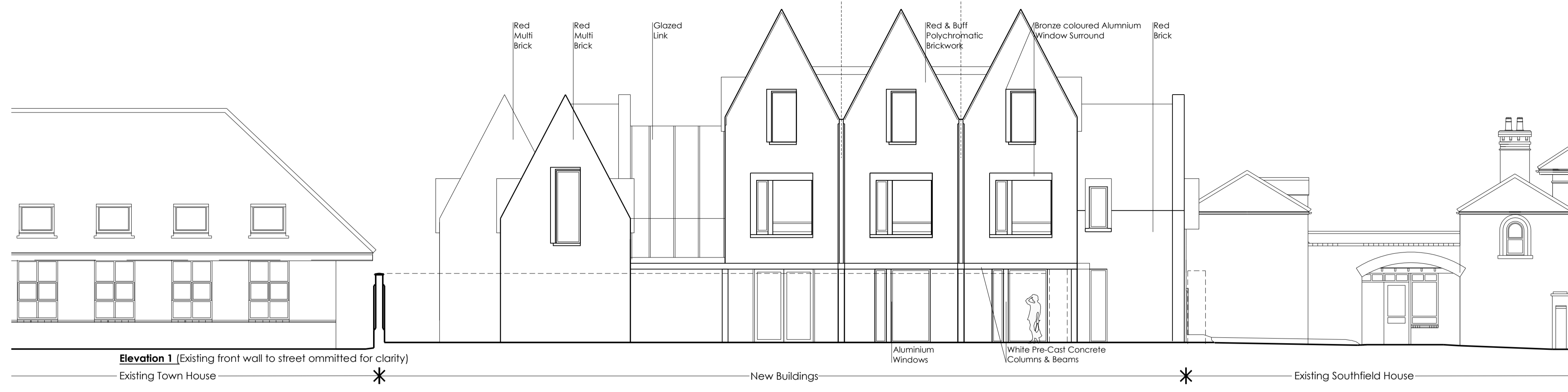


Key Plan
 0 1 2 3 4 5 10m
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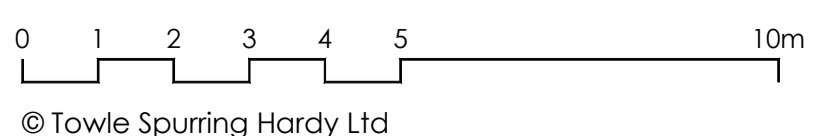


Rugby School	Date: March 2017
Day Houses	Scale: 1:125@A1
Front & Rear Elevations	Status: Planning
2016020 - A - P - 05 - 205	Drawn: TM
	Revision:

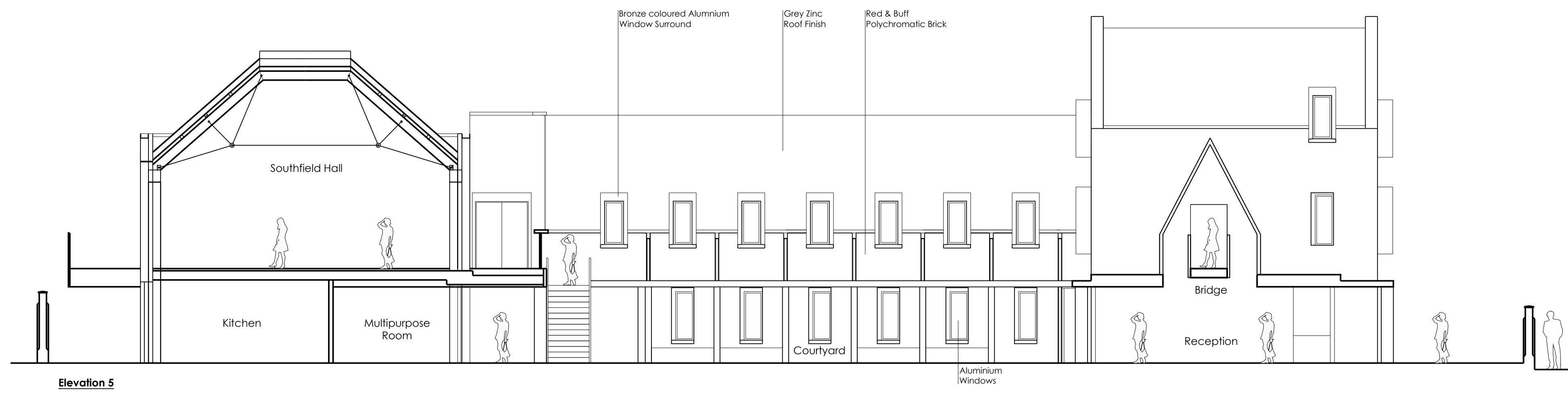
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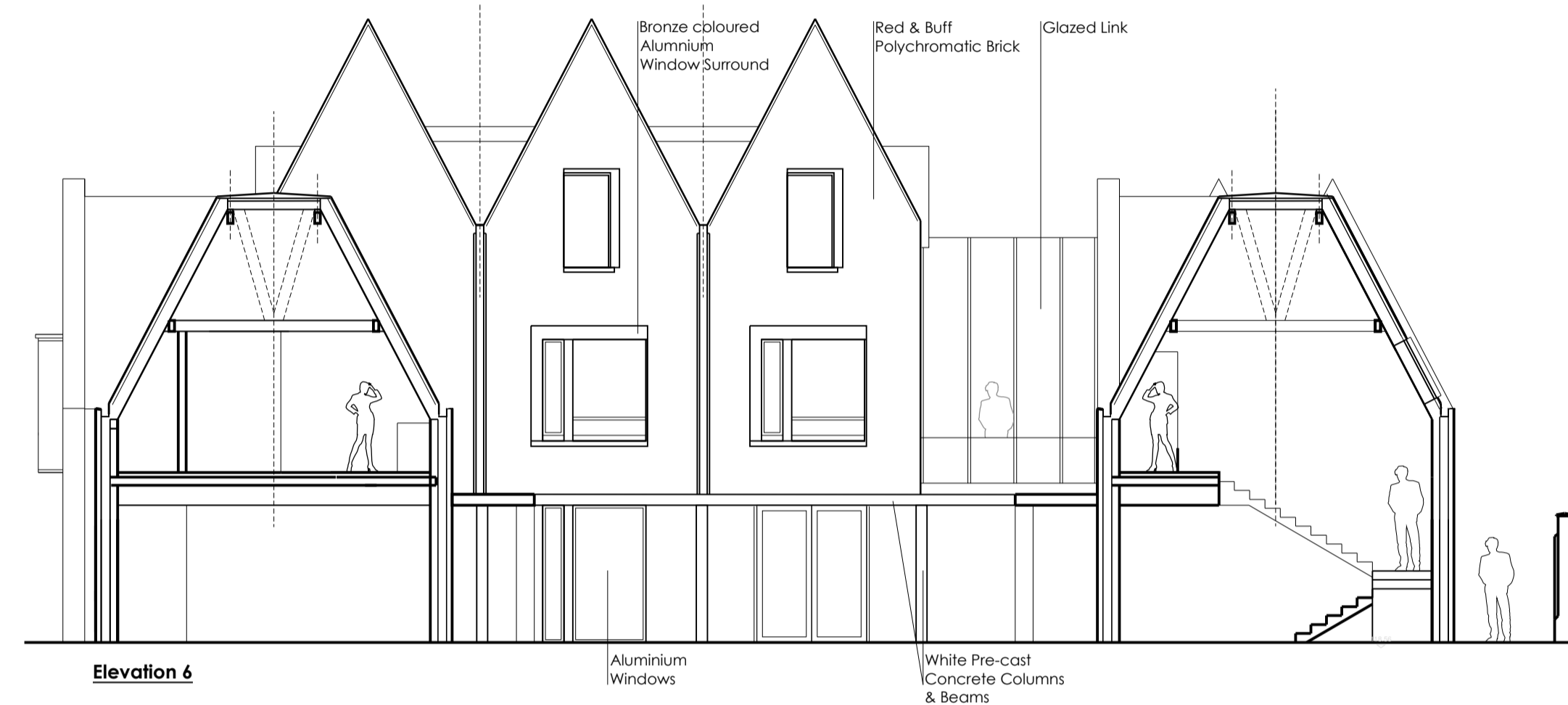
Key Plan



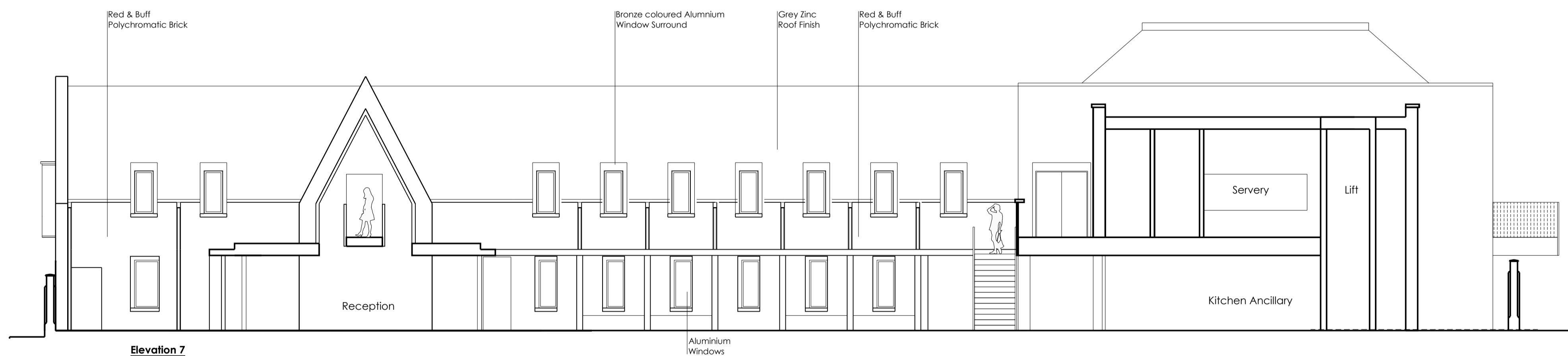
Rugby School Day Houses	Date: March 2017
	Scale: 1:100@A1
Elevations	Status: Planning
	Drawn: TM
2016020 - A - P - 05 - 210	Revision:



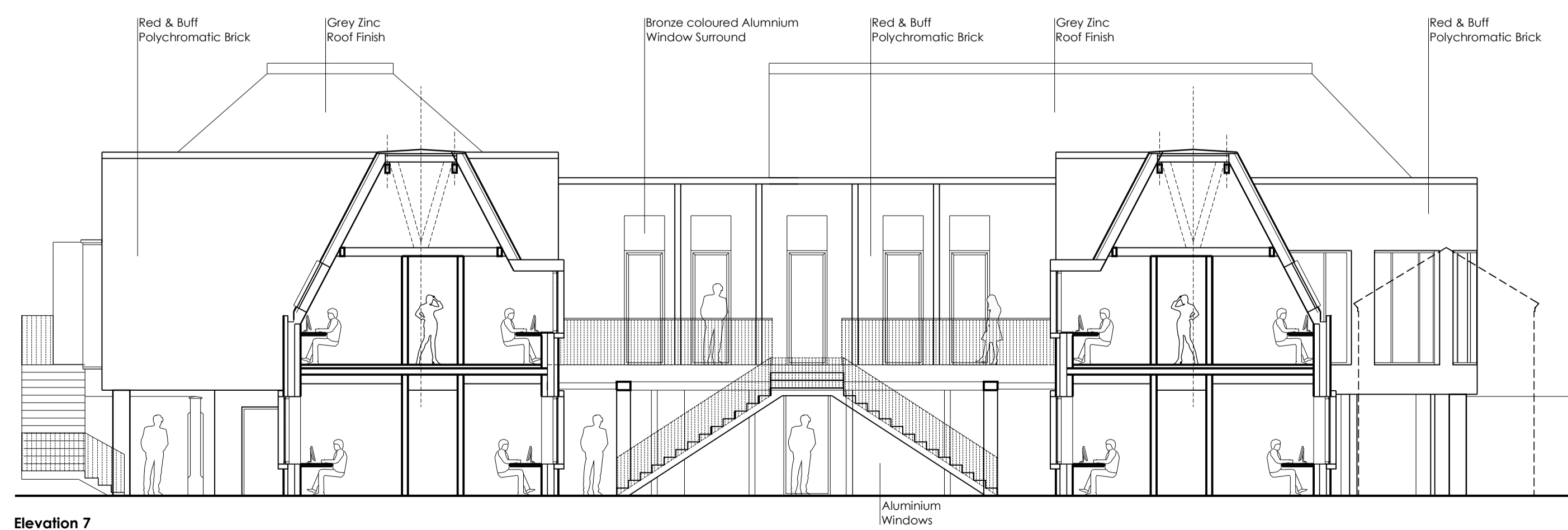
Elevation 5



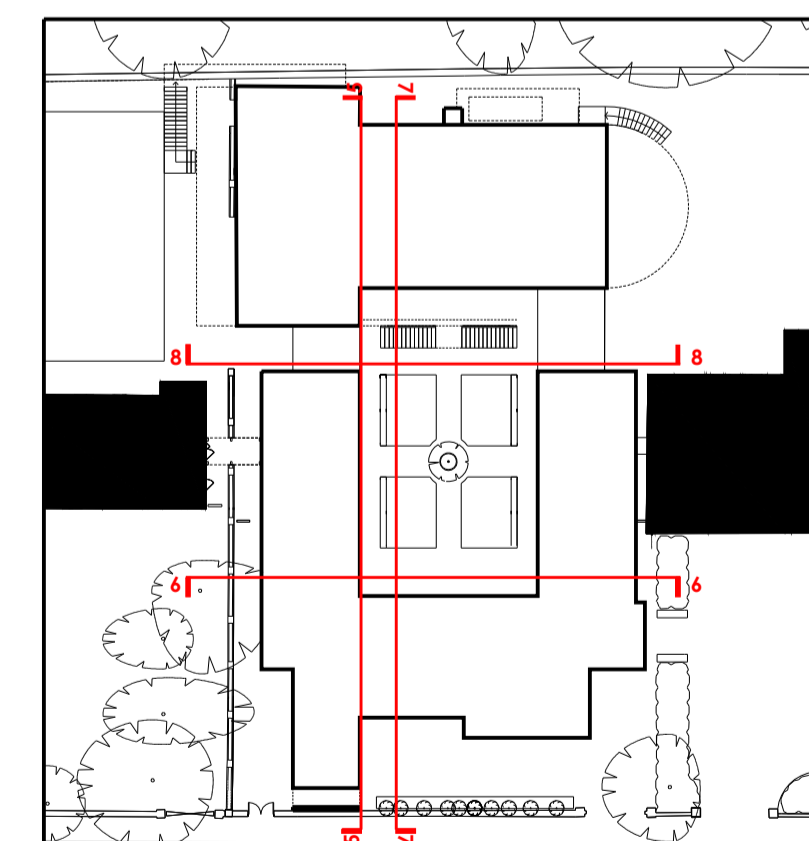
Elevation 6



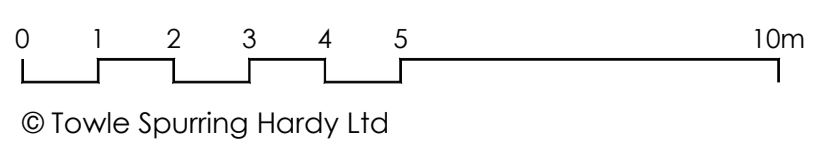
Elevation 7



Elevation 7



Key Plan





Aerial View
Looking North East



Aerial View
Looking South West



Street View from Horton Crescent



Entrance View



View to courtyard



View from Caldecott's Piece playing field



**PROPOSED CHANGE OF USE OF THE BELL INN P.H.
TO DWELLING AT BELL LANE, MONKS KIRBY, WARWICKSHIRE**

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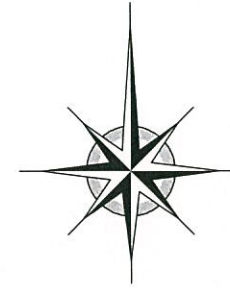
DEVELOPMENT CONSULTANCY ARCHITECTURE CONTRACT ADMINISTRATION PROTECTED SPECIES SURVEYS



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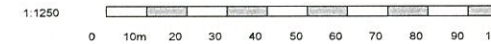
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02476 217727 admin@gbae.co.uk www.gbae.co.uk



NOTES:

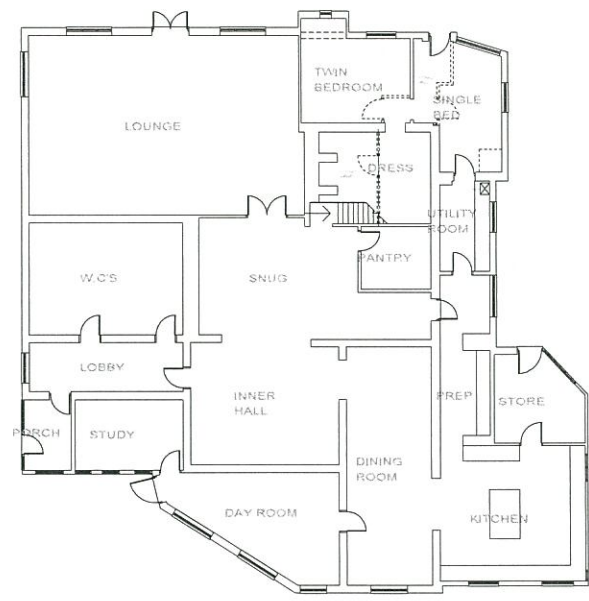
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3. All dimensions in millimetres unless otherwise stated
4. Do not scale copies of this drawing
5. Any discrepancies in information should be reported to GBa&e for advice before proceeding
6. All timber to be treated with preservative to B.S. 8417:2011 prior to use and made good thereafter
7. This plan must be read in strict conjunction with other plans in this set, Structural Engineer's and specialists' details
8. All work shall be carried out in a good and workmanlike manner and with proper care and skill
9. All goods and materials shall be of good quality and reasonably fit for their intended purpose
10. PROTECTED SPECIES:
Bats, birds, great-crested newts and certain other species are protected by Law. It is therefore essential that, if any such species are discovered, during, or before, the construction process the works are suspended and the local office of Natural England contacted for advice
11. All proprietary products to be fixed/installed in strict accordance with manufacturer's recommended methods

SCALE BARS

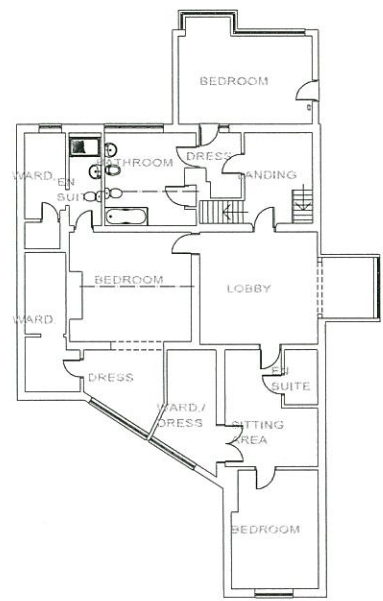


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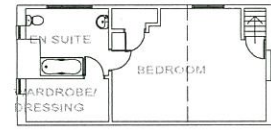
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9. All dimensions to be checked on site by the Contractor.
10. All dimensions to be checked on site by the Contractor.



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



Mr P & Mrs B Garcia

Extent Pre-Existing Residential Use
The Bell Inn, Bell Lane, Monks Kirby, Works.

FLOOR PLANS OF PROPOSED USE

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M

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