

Clifton upon Dunsmore



Parish Plan 2004

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This document has been prepared by The Parish Plan Steering Group
on behalf of Clifton upon Dunsmore Parish Council

CLIFTON UPON DUNSMORE PARISH PLAN

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- Section One Action Plan**
Developed following consultation with residents and liaison with Clifton upon Dunsmore Parish Council, Rugby Borough Council, Warwickshire County Council and outside agencies. The key themes of the Action Plan and the overall consultation process align with those of the Community Plan for Rugby. This Action Plan will form the basis of the Clifton upon Dunsmore Parish Council business plan for the coming year and should be reviewed regularly.
- Section Two Parish Appraisal Responses**
The first Parish Appraisal was carried out in 2000. We were able to build on that project and to incorporate specific questions that addressed issues raised during the extensive consultation process. The base data can be interrogated in a number of ways and will provide a valuable resource for anyone carrying out research or wishing to make a funding application that requires quantitative information.
- Section Three Village Design Statement**
The largest part of the project! The Village Design Statement was developed following extensive consultation with residents. Several draft versions of the document were displayed during the consultation process and all comments received were discussed with our expert and impartial advisers prior to being incorporated into the final document. The Village Design Statement was adopted by Rugby Borough Council as Supplementary Planning Guidance on 2nd August 2004.
- Section Four Landscape Appraisal**
Highlights some of the natural features of Clifton upon Dunsmore.
- Section Five Overview of The Locks**
Residents at The Locks did not feel able to complete a Design Statement at this time, although we will be supporting them to do so in the future. This overview gives a flavour of this unique and very special area.
- Section Six Housing Needs Survey**
During the project Rugby Borough Council requested that all Parishes should complete a Housing Needs Survey to identify what housing would be required to meet local needs, as opposed to market-driven development. As the first parish to undertake this task we were breaking new ground and worked closely with the Housing and Planning Departments to ensure that we met the standard set down for a Housing Needs Survey.
- Section Seven Parish Directory and Business Directory**
It became apparent that many residents, particularly those who had moved in recently, were unaware of the wealth of activities that take place in Clifton, or the organisations that run them. This Directory aims to make this information available to all and to encourage wider participation in village life.
- Section Eight Methodology**
How we did it!

Dear Parishioner

This Parish Plan document represents the results of the biggest consultation exercise ever seen in Clifton. Over two thousand individual responses were received over a fifteen-month period. A full methodology is shown at the back of the document, which details the numerous public meetings and exhibitions, and the house-to house questionnaires that were delivered (and collected) by volunteers. Almost two thousand volunteer hours have been spent on the project, which equates to one person working full-time for over a year!

Our 12 key themes, which are also contained in the Community Plan for Rugby are:

- Health Issues
- Community Safety
- The Environment
- Housing
- Transport, Traffic and Travel
- Schools, Pre-Schools and Lifelong Learning
- Work, Business and Enterprise
- Leisure
- Young People
- Older and Vulnerable People
- The Voluntary and Community Sectors
- Rural Affairs

By adopting these themes it has been possible to ensure that our Action Plan can be related to other Plans for the Borough of Rugby, and that relevant agencies (including the Parish Council) can be clearly identified to carry out each activity, with targeted timescales set for completion.

Clifton upon Dunsmore is the first Parish in Rugby Borough to carry out a full Parish Plan, and this has meant that in many ways new ground has been broken. For instance, the Housing Needs Survey was agreed with Rugby Borough Council and Warwickshire Rural Housing Association, and fully complies with the new policies governing such documents.

Our Village Design Statement gives clear guidelines to assist anyone wishing to build or carry out improvements to properties within the Parish, and has been adopted as Supplementary Planning Guidance by Rugby Borough Council.

One clear factor that came out of the consultation was that many residents who were new to the Parish had no idea of the wide range of activities that are on offer right on their doorstep, and the Parish Directory gives information of whom to contact should you have a particular interest or wish to take up a new activity.

Clifton upon Dunsmore Parish Council would like to thank the Steering Group who carried out this project on our behalf, and would especially like to thank the hundreds of residents who took part in the consultation and those who gave up their time to assist with specific tasks.

We hope you will enjoy reading this Parish Plan, that it will broaden your understanding of the Parish in which you live, and that it will provide a useful resource for you in the future.

Yours sincerely

Clifton upon Dunsmore Parish Council



**Councillor C Humphrey
Leader of the Council and
Member for Bilton Ward**

Councillor C Humphrey,
254 Alwyn Road,
Bilton,
Rugby, CV22 7RR.

Tel: *Home* (01788) 522162
Business 07836 761919
Mobile 07736 519149

E-mail c.humphrey63@ntlworld.com

Date 13th September, 2004

Dear Residents of Clifton upon Dunsmore

Congratulations to the Clifton upon Dunsmore Parish Council and to the Parish Plan Steering Group on the completion of your Parish Plan. This is the first Parish Plan to be completed within the Borough of Rugby, and as a trailblazer much new ground has been broken. It is heartening that so many residents have taken part in this project and have contributed in so many different ways.

Rugby Borough Council actively encourages all Parishes to complete a Parish Plan, as it provides a vehicle for residents to make their views known on a wide range of subjects that affect their daily lives and on the environment within which they live. Parish Plans also provide an opportunity to build relationships and to work with Rugby Borough Council and other agencies to tackle the issues raised during the consultations that take place.

I hope that other parishes will feel inspired to undertake their own Parish Plan, and that this will be the first of many.

With best wishes.

Yours sincerely

Craig Humphrey
Leader of the Council



Dear Residents

When we first started the Parish Plan project the brief seemed fairly straightforward: Consult with residents to find out the issues that concern them, carry out a Village Appraisal to obtain quantitative information and draw up an Action Plan to address the issues raised.

The initial consultation took the form of meetings, exhibitions, suggestions boxes and workshops – in all over 2000 responses were received. This included the Village Design Statement workshop day that was held in September 2003. Please see the Methodology at the end of this document for full information.

So far, so good! As the project developed it became clear that additional elements would be required. For instance Rugby Borough Council requested that villages should complete a Housing Needs Survey to identify what housing was required to meet local need. As the first parish to undertake this we had first to agree with Rugby Borough Council what information would be required. When it became obvious that sensitive financial information needed to be collected, we enlisted the help of Warwickshire Rural Housing Association, as we preferred not to handle confidential information. They conducted the survey and provided a report that did not identify individuals, but met the Rugby Borough Council requirements.

The Village Design Statement was by far the most ambitious part of the project, and extensive consultation took place on this element alone. We were very proud when this was adopted as Supplementary Planning Guidance by Rugby Borough Council on 2nd August 2004, especially as they praised the document as one of the best they had seen, and also praised the transparent and robust consultation that had taken place.

Finally, one of the over-riding points to come out of the consultation was that residents, especially those who have moved to the parish more recently, have no idea of the wealth of activities, clubs and organisations that exist within the parish – or who to contact to find out. The Parish Directory addresses this point, and also gives information about the businesses that operate within the parish.

This document provides a snapshot of life in Clifton at the start of the 21st Century. We hope that you will enjoy reading it as much as we have enjoyed gathering the information and presenting it.

Thank you to everybody who has taken part!

WE WOULD LIKE TO THANK THE FOLLOWING, WITHOUT WHOM THIS PROJECT COULD NOT HAVE BEEN COMPLETED:

- The Countryside Agency, who have funded the Parish Plan project
- Linda Ridgley of Warwickshire Rural Community Council, for her unfailingly good advice, common sense and encouragement when it was most needed
- Rob Parker-Gulliford, Conservation Officer of Rugby Borough Council
- Dr. David Collins and Dick John, Clifton upon Dunsmore History Group
- Year 6 pupils, Clifton upon Dunsmore C of E School
- Steve Bambrick, Andrew Rose and Rachel Booth of Rugby Borough Council
- Warwickshire Rural Housing Association, for carrying out the Housing Needs Survey
- Rachel Palmer for putting all the consultation information onto the village website
- The residents of the Parish of Clifton upon Dunsmore, without whose input and support this project could not have happened

Clifton upon Dunsmore Parish Plan Steering Group

Leigh Hunt, Chairman
Alastair Robinson, Vice Chairman
Cllr. Cris Palmer, Secretary
Mike Aspeling, Honorary Treasurer
Clive Culling

Val Aspeling
Cllr. Faith Matthews
Margarita Smith
Alistair Sinclair
Kasar Singh



Section One - Action Plan

Section One

Action Plan

Developed following consultation with residents and liaison with Clifton upon Dunsmore Parish Council, Rugby Borough Council and Warwickshire County Council and outside agencies. The key themes of the Action Plan and the overall consultation process align with those of the Community Plan for Rugby. This Action Plan will form the basis of the Parish Council business plan for the coming year and should be reviewed regularly.

CLIFTON UPON DUNSMORE PARISH PLAN

ACTION PLAN 2004

The issues identified in this plan have been taken from over 1000 responses that were received over a 12-month period in 2003-4. The Parish Plan Steering Group has worked closely with the Parish Council and other agencies to compile the action plan with SMART (Specific, Measurable, Achievable, Realistic and Time-bound) targets.

ISSUE	ACTION	WHO	BY WHEN	Agreed
<p>HEALTH</p> <p>Health affects each and every one of us. Some residents expressed concern about the sustainability of St. Cross Hospital, even though it is now out of the period of threat. It would appear, therefore, that the message has not got across to the general public. Specific health concerns in Clifton tended to be of an environmental nature.</p>				
St. Cross hospital must stay	The future of St. Cross is secure and it will become a major centre for 2-3 major services. An inclusive consultation will be carried out this year concerning the kinds of service to be delivered	Primary Care Trust	End 2004	2/4/04
Better access/information required to facilities and services for general wellbeing	There are a wide range of activities available in Clifton, although these are not always well publicised. A directory is to be published that will give information of all clubs, groups and activities that have submitted their information for publication	Parish Plan Steering Group	September 2004	8/1/04
Provide dog mess bins at key locations	Investigate funding opportunities for the provision of dog mess bins	Parish Council	Ongoing	2/2/04

COMMUNITY SAFETY

Increased crime is no longer just a perception but has now become a reality. Clifton has long enjoyed relatively low levels of crime however over recent months (and even since the Village Appraisal was carried out) there has been a steady increase in the volume of crime targeted at the village. The extent to which this might be the effect of displacement, as other areas of the borough are subjected to high profile policing, is not known.

Increased police presence and visibility	Community Police Officer to patrol village regularly on foot and wearing high visibility clothing. Police officer to use desk in village shop to carry out admin tasks rather than going to police station.	Police	September 2004	6/2/04
The residents of Clifton should also help to combat local crime	Extend the Neighbourhood Watch scheme to achieve 100% coverage of the village	Neighbourhood Watch	October 2004	Jan 04
Reduce the incidence of burglary in Clifton	Encourage householders to take up "Smart Water" as a means of discouraging burglary and other crime	Neighbourhood Watch	Ongoing	Jan 04
Parking on the pavement between the Post Office and shops obstructs traffic flows	Enforce parking restrictions	Police	Ongoing	6/2/04
Parking on North Road, particularly in the vicinity of the school, creates a hazard as vehicles cannot get past	Enforce parking restrictions	Police	Ongoing	6/2/04

THE ENVIRONMENT

Clifton residents have shown that they enjoy and value the environment in which we all live. Protection and enhancement of that environment is seen by many to be a high priority.

Some footpaths are difficult to follow owing to impediments and gates that are difficult to open and close	Parish Council to survey and improve existing footpaths under Parish Paths Partnership scheme	Parish Council	October 2004	5/4/04
Some footpaths cross fields with dangerous livestock	Enforce livestock bylaws	PC/WCC	Ongoing	5/4/04
Reduce light pollution	Replacement street lights to be environmentally friendly and to reduce upwards light spillage	Parish Council	Ongoing	2/2/04



Reduce light pollution	Contact Warwickshire County Council to find data on reduced spillage schemes used elsewhere	Parish Plan Steering Group	Completed	2/2/04
Some of the recycling bins in car park are no longer necessary now that kerbside collections are in place, they only attract rubbish	Parish Council to monitor use of bins	Parish Council	Ongoing	5/4/04
Encourage composting of garden waste	WCC has a scheme to provide composting bins. This should be widely publicised	Parish Council	October 2004	5/4/04
Development of the BT site will radically alter the character of Clifton and will bring increased traffic	Parish Council to Write to RBC to request that they ensure that full consultation with residents takes place before any development is permitted and that they put in place a requirement for every possible protection for Clifton and The Locks before any development occurs	Parish Council	October 2004	5/4/04

HOUSING -

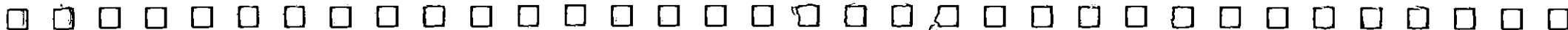
Clifton enjoys a good mix of housing. Most people recognise the need for some development in order to maintain a vibrant community, but would not want to see any large-scale development either within the village or adjoining it.

There should be a good mix of housing which reflects the needs of the residents of Clifton	Carry out Housing Needs Survey	Parish Plan Steering Group	Completed	April 04
There should be a good mix of housing which reflects the needs of the residents of Clifton	Adopt the Housing Needs Survey	Rugby Borough Council	Completed	April 04
Any new development should respect and complement the existing village layout	Prepare Village Design Statement	Parish Plan Steering Group	Completed	May 04
Any new development should respect and complement the existing village layout	Adopt Village Design Statement	Rugby Borough Council	Completed	Aug 04

TRANSPORT, TRAFFIC AND TRAVEL

This was the area that drew the greatest number of responses from our consultations

Vehicles are being misdirected through the village by poor signage. Some signage is either unnecessary or no longer relevant	Carry out signage audit and prepare report	Parish Plan Steering Group	November 2004	5/4/04
Too many large lorries are travelling through the village, even though the main road has been de-trunked	Send signage audit report to Warwickshire County Council requesting action as detailed	Parish Council	November 2004	5/4/04
Cars rat-running and speeding through the village are a danger to motorists and pedestrians alike	Write to Warwickshire County Council to request survey of traffic flows and report showing suitable solutions to problems	Parish Council	October 2004	5/4/04
Cars rat-running and speeding through the village are a danger to motorists and pedestrians alike	Work with Warwickshire County council to devise a suitable scheme to address the issues, investigate funding options and carry out necessary consultation	Parish Council	October 2004	5/4/04
The volume of traffic around the school causes problems for residents	Work with the pupils to change the attitude of the children towards being driven to school in cars so that they in turn can change the attitude of their parents	Clifton School	Ongoing	6/5/04
The volume of traffic around the school causes problems for residents	Work with the WCC Healthy Environment project to develop good practice	Clifton School	Ongoing	6/5/04
The volume of traffic around the school causes problems for residents	Encourage the take-up of the walking bus scheme	Clifton School	Ongoing	6/5/04
Vehicles accessing developments cut through the village and use inappropriate routes	Encourage Rugby Borough Council to enforce routes that utilise main roads and minimise disruption as part of the planning conditions	Parish Council	Ongoing	5/4/04
Open vision splays encourage cars to speed through the village and away from properties	Use Section 106 agreements to encourage planting of mature trees that will break lines and are less likely to be vandalised	Parish Council / Rugby Borough Council	Ongoing	5/4/04



SCHOOLS, PRE-SCHOOLS AND LIFELONG LEARNING

Clifton School is recognised as an asset to our local community. However, many respondents expressed concern that it should be a school for the community, rather than a school within the community. Clifton school's increasing popularity has brought attendant problems with children being driven in from other areas. Please see Traffic, Transport and Travel section for actions that the school is taking to alleviate this.

There was a desire that lifelong learning opportunities should be provided within the village	The school is used for a community run keep fit class and, up until recently, a judo class. We would support the use of the building by community/education groups.	Community Education Council / Clifton School	Ongoing	July 04
There was a desire that lifelong learning opportunities should be provided within the village	Clifton upon Dunsmore Women's Institute currently receives funding from the Area Community Education Council to pay for speakers. Other groups can apply for this funding - telephone Ian Maclean 01926 736500	Parish Groups	Ongoing	20/5/04
Provide access to the school computers and Internet for all during evenings and weekend and holidays. Short courses could be arranged for the older residents. Language courses for all. Much scope for use of this expensive equipment lying idle much of the time.	The school currently has internet access up to 6pm, however, should a group/trainer wish to use these facilities they may be able to be accommodated. There are also free ICT services available to villages through the Community Bus. It will come to a convenient parking place.	External Trainers / Warwickshire College / Clifton School	Ongoing	July 04

WORK, BUSINESS AND ENTERPRISE

It was felt that a varied range of work opportunities should exist within reasonable travelling distance of Clifton, although not necessarily within the parish itself. Over 50% of respondents to the Village Appraisal use the Post Office and shop at least weekly. Most residents travel to work in Rugby and surrounding towns and only 20% of respondents ever work from home.

Improve facilities at the Bull	In November 2003 The Bull was moved to a tenancy. The new landlord has carried out a number of improvements and has many more in the pipeline	Tom Corrigan	Ongoing	18/06/04
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Encourage and support rural enterprise	The Rugby Economic Activity Group has successfully applied for funds to provide a dedicated rural business advisor who will carry out assessment work and will locate, inform and advise rural businesses on support and funding that may be available to them	Rugby Economic Activity Group	Ongoing	16/04/04
Actively support those who want to set up in business or work from home	Continue to provide training, business support and assistance to new businesses or to those seeking to embrace new technologies	Warwickshire County Council / Business Link	Ongoing	8/1/04

LEISURE

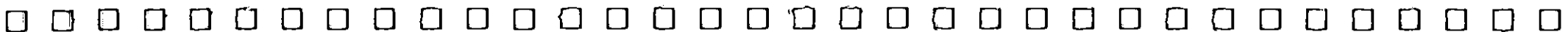
Generally leisure facilities for older people were felt to be good, with decreasing levels of satisfaction as the age-range reduced. The exception to this was the Tennis Club, which was by far the highest-rated social facility in the parish.

Many people like to walk but are not sure where they are able to go	Arrange for the book "Country Walks in the Rugby Area" by Jim Watson to be available for purchase locally and then publicise it (It contains 20 walks 2 of which actually start and finish in the centre of Clifton).	Parish Plan Steering Group	Completed	15/04/04
Improve facilities at the Bull	A dominoes team will be starting in the autumn. A children's ride is to be installed in the new children's play area. The food offering has increased and now uses locally-sourced produce. A patio area is to be installed with new seating and heating.	Tom Corrigan	Ongoing	18/06/04
Many people do not know what leisure and social facilities are available in the parish	Publish a directory of village clubs, organisations and activities (inclusion to be voluntary)	Parish Plan Steering Group	September 2004	8/1/04

YOUNG PEOPLE

Young people are perceived to be bored and need activities to keep them occupied. There is also believed to be a lack of tolerance among some older people. On the whole the youths in Clifton are well-behaved, although there have been problems, largely with others coming in from other areas, which is a consequence of our proximity to Rugby and its suburbs.

Young people need somewhere to meet	Make pavilion available to Youth Group, if parents or other adults come forward to run one.	Parish Council	Immediately	2/2/04
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Young people need something to do	Publish a directory of village clubs, organisations and activities (inclusion to be voluntary)	Parish Plan Steering Group	September 2004	8/1/04
Young people need somebody to organise activities	Gain support of parents to organise a youth club	Parents	Ongoing	9/2/04

OLDER AND VULNERABLE PEOPLE

The largest age group in Clifton is the group between 45 and 59. Although over 25% of residents are aged 65 or over, this is a lower proportion than in many villages.

Provide social contact for shopping etc for those who are largely housebound	It had been suggested that a formal "Good Neighbour" scheme should be started, however it was felt that this is not the responsibility of any single organisation or group and that all residents should be mindful of their neighbours and friends.	All residents	Ongoing	July /04
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THE VOLUNTARY AND COMMUNITY SECTORS

There is a perception that it is always the same few people who are involved in most activities. One benefit of the Parish Plan project is that everybody has had the opportunity to get involved. Everybody should feel welcome to join in with local activities, otherwise many of them will cease functioning through lack of support.

Many people do not know what activities take place in the village	Publish a directory of village clubs, organisations and activities (inclusion to be voluntary)	Parish Plan Steering Group	September 2004	8/1/04
Many people are not aware of the activities of the Parish Council	Provide more information about Parish Council meetings and publish minutes on the village website	Parish Council	October 2004	2/2/04
Many people are not aware of the activities of the Parish Council	Ensure that Parish Council report appears in the Parish magazine every month	Parish Council	Immediately	2/2/04
If the Action Plan is to have meaning it must be adopted by and acted upon by the Parish Council	Adopt the Action Plan	Parish Council	Completed	2/2/04
If the Parish Plan is to have meaning it must be adopted by and acted upon by the Parish Council	Target annual update and review of Parish Plan to coincide with budget.	Parish Council	Before end November 2005	2/2/04

If the Parish Plan is to have meaning it must be adopted by and acted upon by the Parish Council	Produce budget and set precept to meet the objectives of the Parish Plan	Parish Council	November 2004	2/2/04
<p>RURAL AFFAIRS</p> <p>Many residents raised the issue of the green buffer zone around the village and the need for this to be maintained. Communication was also considered to be an issue.</p>				
Our village is such a good place to live in because we have a lot for the community to get involved in. Things will change with the times but we must maintain our spirit. New-comers must be made aware of our activities	Publish a directory of village clubs, organisations and activities (inclusion to be voluntary)	Parish Plan Steering Group	September 2004	8/1/04
Our village is such a good place to live in because we have a lot for the community to get involved in. Things will change with the times but we must maintain our spirit. New-comers must be made aware of our activities	Ensure that contact details for Parish website, Rugby Advertiser correspondent, Parish Magazine etc are displayed permanently on notice board	Parish Plan Steering Group	September 2004	2/2/04





Section Two - Parish Appraisal Responses

Section Two

Parish Appraisal Responses

The first Parish Appraisal was carried out in 2000. We were able to build on that project and to incorporate specific questions that addressed issues raised during the extensive consultation process. The base data can be interrogated in a number of ways and will provide a valuable resource for anyone carrying out research or wishing to make a funding application that requires quantitative information.

PARISH APPRAISAL RESPONSES

The first Parish Appraisal was carried out in 2000. Following extensive consultation with residents a new questionnaire was developed that built on the earlier questions, and also included specific points that had been raised by residents. The data was used in the development of the Action Plan and the Village Design Statement.

The base data can be interrogated in a number of ways and will provide a valuable resource for anyone carrying out research or wishing to make a funding application that requires quantitative information. This report shows the individual question counts. Percentages refer to numbers of people answering each specific questions rather than numbers responding to questionnaire. Also see notes on end page.

HOUSEHOLD SECTION

Question Number : 1 **NUMBER OF HOUSEHOLDS :** 336

How many people including children normally live in your household?

734

Question Number : 2 **NUMBER OF HOUSEHOLDS :** 336

Please enter the number of people in your household in each age group:

	Male	Female
0-4	19	14
5-10	22	13
11-15	14	12
16-17	7	8
18-24	25	20
25-44	67	74
45-59	103	103
60-64	30	32
65-74	53	51
75-84	23	33
85+	5	6

Question Number : 3 **NUMBER OF HOUSEHOLDS :** 336

Where does your household live?

Clifton Village	303 (90.2 %)
The Locks	14 (4.2 %)
Dunsmore	19 (5.7 %)

Question Number : 4 **NUMBER OF HOUSEHOLDS :** 336

Is your dwelling within a Neighbourhood Watch Scheme?

Yes	242 (72.0 %)
No	14 (4.2 %)
Don't know	67 (19.9 %)

Question Number : 5 **NUMBER OF HOUSEHOLDS :** 336

Enter the number of people who are in full-time education at one of the following (or part-time in the case of pre-school) :

Pre School	13
Primary School	45
Secondary School	30
Further Education (College)	8
Higher Education (University)	15

PERSONAL SECTION

Question Number : 6 **NUMBER OF RESPONDENTS TO QUESTION :** 655

Sex
Male 316 (48.2%)
Female 339 (51.8%)

Question Number : 7 **NUMBER OF RESPONDENTS TO QUESTION :** 652

What age group do you belong to?

11-15 26 (4.0%)
16-17 14 (2.1%)
18-24 45 (6.9%)
25-44 138 (21.2%)
45-59 203 (31.1%)
60-64 61 (9.4%)
65-74 100 (15.3%)
75-84 55 (8.4%)
85+ 10 (1.5%)

Question Number : 8 **NUMBER OF RESPONDENTS TO QUESTION :** 616

Are you registered as disabled?

Yes 37 (6.0%)
No 579 (94.0%)

Question Number : 9 **NUMBER OF RESPONDENTS TO QUESTION :** 623

How long have you lived in Clifton ?

Less than a year 46 (7.4%)
1-5 years 136 (21.8%)
6-15 years 126 (20.2%)
16-25 years 130 (20.9%)
26-50 years 120 (19.3%)
51 + years 27 (4.3%)
Whole life 38 (6.1%)

Question Number : 10 **NUMBER OF RESPONDENTS TO QUESTION :** 620

How did you come to live in Clifton ?

Born here 60 (9.7%)
Work in area 142 (22.9%)
Relatives live nearby 55 (8.9%)
Love of village life 142 (22.9%)
Love of country life 125 (20.2%)
Interest in canals 32 (5.2%)
Availability of housing 115 (18.5%)
Retired here 29 (4.7%)
Marriage 57 (9.2%)
Setting up home 72 (11.6%)
Came with family 100 (16.1%)
Other 39 (6.3%)

Question Number : 11 **NUMBER OF RESPONDENTS TO QUESTION :** 614

What is most important to you about Clifton ?

The community 235 (38.3%)
The environment 189 (30.8%)
The situation 143 (23.3%)
Other 14 (2.3%)
Not sure 33 (5.4%)

Question Number : 12 **NUMBER OF RESPONDENTS TO QUESTION :** 599

How is the quality of life in Clifton compared to 10 years ago?

Better	27 (4.5%)
Worse	178 (29.7%)
The same	185 (30.9%)
Don't know	209 (34.9%)

Question Number : 13 **NUMBER OF RESPONDENTS TO QUESTION :** 597

Where is your main place of work?

Clifton	29 (4.9%)
The Locks	12 (2.0%)
Rugby	165 (27.6%)
Coventry	21 (3.5%)
Birmingham	6 (1.0%)
Leicester	12 (2.0%)
Northampton	18 (3.0%)
London	8 (1.3%)
Mobile	27 (4.5%)
Home	36 (6.0%)
Not applicable	215 (36.0%)
Other	48 (8.0%)

Question Number : 14 **NUMBER OF RESPONDENTS TO QUESTION :** 591

Do you experience transport difficulties in getting out of Clifton to other places?

Often	43 (7.3%)
Occasionally	191 (32.3%)
Never	357 (60.4%)

Question Number : 15 **NUMBER OF RESPONDENTS TO QUESTION :** 582

If you drive and have daytime access to a vehicle what do you use it for?

Business journeys	136 (23.4%)
Transport to work	255 (43.8%)
Leisure	362 (62.2%)
Shopping	361 (62.0%)
Transporting children to school/college	63 (10.8%)
Other	39 (6.7%)
Not applicable	98 (16.8%)

Question Number : 16 **NUMBER OF RESPONDENTS TO QUESTION :** 666

Do you experience the following parking problems at your home?

	1 - Yes	2 - No
Nowhere to park	36 (5.4%)	280 (42.0%)
Cars blocking your entrance	104 (15.6%)	252 (37.8%)
Traffic blocking the road	160 (24.0%)	232 (34.8%)

Question Number : 17 **NUMBER OF RESPONDENTS TO QUESTION :** 596

Is street parking a safety risk in Clifton ?

Yes	414 (69.5%)
No	91 (15.3%)
No opinion	91 (15.3%)

Question Number : 18 **NUMBER OF RESPONDENTS TO QUESTION :** 610

Which of the following is your major means of transport?

Car	512 (83.9%)
Bike	18 (3.0%)
Motorbike	3 (0.5%)
Bus	46 (7.5%)
Coach	7 (1.1%)
Train	2 (0.3%)
Tesco Bus	1 (0.2%)
Taxi	6 (1.0%)
Walking	15 (2.5%)

Question Number : 19 **NUMBER OF RESPONDENTS TO QUESTION :** 601

Would you like to see some form of parking control introduced in Clifton ?

Yes	334 (55.6%)
No	151 (25.1%)
No opinion	116 (19.3%)

Question Number : 20 **NUMBER OF RESPONDENTS TO QUESTION :** 562

Would you like to see parking on the grass verges in Lilbourne Road and Shuttleworth Road?

Yes	112 (19.9%)
No	450 (80.1%)

Question Number : 21 **NUMBER OF RESPONDENTS TO QUESTION :** 608

Do you think speeding traffic is a problem in Clifton ?

Yes	467 (76.8%)
No	79 (13.0%)
No opinion	62 (10.2%)

Question Number : 22 **NUMBER OF RESPONDENTS TO QUESTION :** 547

Do you think the following are major 'danger-spots' on the roads in Clifton?

North Rd/South Rd/Rugby Rd junction?	297 (54.3%)
Church St?	178 (32.5%)
Main St?	148 (27.1%)
Vicarage Hill?	228 (41.7%)
Lilbourne Rd/Hillmorton Lane/Buckwell Lane junction?	295 (53.9%)
Newton Road?	67 (12.2%)
Hillmorton Lane?	93 (17.0%)
Lilbourne Road?	173 (31.6%)
The Locks?	17 (3.1%)

Question Number : 23 **NUMBER OF RESPONDENTS TO QUESTION :** 444

Do you feel in danger from Heavy Goods Vehicles in these areas of Clifton?

North Rd / South Rd / Rugby Rd junction ?	141 (31.8%)
Church St ?	236 (53.2%)
Main St ?	253 (57.0%)
Vicarage Hill ?	171 (38.5%)
Lilbourne Rd / Hillmorton Lane / Buckwell Lane junction ?	147 (33.1%)
Newton Road ?	74 (16.7%)
Hillmorton Lane ?	55 (12.4%)
Lilbourne Road ?	118 (26.6%)
The Locks ?	16 (3.6%)

Question Number : 24 **NUMBER OF RESPONDENTS TO QUESTION :** 586

Would you support the following speed control measures in Clifton ?

Extension of the speed limit	102 (17.4%)
Lower the speed limit	255 (43.5%)
Traffic calming	256 (43.7%)
Children at play signs	141 (24.1%)
More road warning signs	165 (28.2%)
Speed cameras	199 (34.0%)
None of the above	82 (14.0%)

Question Number : 25 **NUMBER OF RESPONDENTS TO QUESTION :** 589

The school has identified that a 20-car parking area could be provided on the grass verge near to the top of Rugby Road (subject to highways and planning permission). Do you think this is a good idea?

Yes	270 (45.8%)
No	233 (39.6%)
No opinion	86 (14.6%)

Question Number : 26 **NUMBER OF RESPONDENTS TO QUESTION :** 574

Do you think the centre of Clifton could be improved by any of the following schemes?

One-way traffic flow	51 (8.9%)
Traffic calming measures	261 (45.5%)
Pedestrianisation	40 (7.0%)
A bypass	190 (33.1%)
Other ways of improvement	85 (14.8%)
It does not need improvement	140 (24.4%)

Question Number : 27 **NUMBER OF RESPONDENTS TO QUESTION :** 600

How important is Clifton school to the local community?

Very important	403 (67.2%)
Important	99 (16.5%)
Not very important	31 (5.2%)
No opinion	67 (11.2%)

Question Number : 28 **NUMBER OF RESPONDENTS TO QUESTION :** 606

How important is St. Cross hospital to Clifton?

Very important	544 (89.8%)
Important	45 (7.4%)
Not particularly important	8 (1.3%)
Unimportant	9 (1.5%)

Question Number : 29 **NUMBER OF RESPONDENTS TO QUESTION :** 228

Which, if any, of the following crimes have you experienced in Clifton over the past 12 months?

Theft	42 (18.4%)
Mugging	1 (0.4%)
Burglary	29 (12.7%)
Vandalism	126 (55.3%)
Drunkenness	26 (11.4%)
Drug Abuse	8 (3.5%)
Car Torching / Arson	11 (4.8%)
Fly Tipping	40 (17.5%)
Trespass	30 (13.2%)
Intimidation	40 (17.5%)
Violent Attack	2 (0.9%)
Other	16 (7.0%)

Question Number : 30 NUMBER OF RESPONDENTS TO QUESTION : 600

Is the standard of street lighting in Clifton ?

Good	92 (15.3%)
Reasonable	332 (55.3%)
Poor	152 (25.3%)
No Opinion	24 (4.0%)

Question Number : 31 NUMBER OF RESPONDENTS TO QUESTION : 666

What are your views on the standard of the following environmental services in Clifton ?

	good	reasonable	poor	no opinion	not applicable
Mains water supply	422 (63.4%)	103 (15.5%)	13 (2.0%)	12 (1.8%)	2 (0.3%)
Mains gas supply	442 (66.4%)	48 (7.2%)	7 (1.1%)	13 (2.0%)	31 (4.7%)
Mains electricity supply	393 (59.0%)	112 (16.8%)	28 (4.2%)	12 (1.8%)	2 (0.3%)
Refuse collection	442 (66.4%)	104 (15.6%)	8 (1.2%)	9 (1.4%)	2 (0.3%)
Roadside care/street cleaning	140 (21.0%)	227 (34.1%)	155 (23.3%)	26 (3.9%)	4 (0.6%)
Winter weather service (snow clearance)	58 (8.7%)	182 (27.3%)	209 (31.4%)	82 (12.3%)	6 (0.9%)
T.V. reception	307 (46.1%)	162 (24.3%)	77 (11.6%)	8 (1.2%)	6 (0.9%)
Radio reception	351 (52.7%)	151 (22.7%)	39 (5.9%)	14 (2.1%)	3 (0.5%)
Grass cutting	181 (27.2%)	264 (39.6%)	61 (9.2%)	36 (5.4%)	12 (1.8%)
Police presence	16 (2.4%)	86 (12.9%)	401 (60.2%)	46 (6.9%)	5 (0.8%)
Storm drainage	91 (13.7%)	213 (32.0%)	180 (27.0%)	58 (8.7%)	6 (0.9%)
Sewage	261 (39.2%)	158 (23.7%)	62 (9.3%)	33 (5.0%)	21 (3.2%)

Question Number : 32 NUMBER OF RESPONDENTS TO QUESTION : 594

Is litter a problem in Clifton ?

Yes	261 (43.9%)
No	247 (41.6%)
No opinion	86 (14.5%)

Question Number : 33 NUMBER OF RESPONDENTS TO QUESTION : 589

Is the number and location of litter bins in Clifton ?

Good	49 (8.3%)
Reasonable	258 (43.8%)
Poor	192 (32.6%)
No Opinion	90 (15.3%)

Question Number : 34 NUMBER OF RESPONDENTS TO QUESTION : 335

Are 'dog mess' bins required in the following locations?

Main Street	177 (52.8%)
Station Road	98 (29.3%)
Rugby Road	107 (31.9%)
North Road	134 (40.0%)
South Road	172 (51.3%)
Lilbourne Road	86 (25.7%)
Church St. / Newton Road	117 (34.9%)
Buckwell Lane / Manor Lane	138 (41.2%)
The Locks	68 (20.3%)
Hillmorton Lane (village end)	67 (20.0%)
Hillmorton Lane (canal end)	64 (19.1%)
Moors Lane	46 (13.7%)

Question Number : 35 NUMBER OF RESPONDENTS TO QUESTION : 523

If dog bins were to be provided they would incur a revenue cost for servicing and emptying. How much additional charge on your precept (household rates) would you be prepared to pay?

£2 per year	101 (19.3%)
£5 per year	68 (13.0%)
£10 per year	24 (4.6%)
£20 per year	1 (0.2%)
£25 per year	3 (0.6%)
Nothing	326 (62.3%)

Question Number : 36 NUMBER OF RESPONDENTS TO QUESTION : 607

Are you at present?

An employee	251 (41.4%)
Unemployed	9 (1.5%)
Self-employed - employing other people	20 (3.3%)
Self employed - not employing anyone	58 (9.6%)
Unwaged housewife/househusband of working age	30 (4.9%)
In a government training scheme	0 (0.0%)
In full-time education	45 (7.4%)
Retired	189 (31.1%)
Permanently sick/disabled	5 (0.8%)

Question Number : 37 NUMBER OF RESPONDENTS TO QUESTION : 531

Do you work from home in paid employment (or as registered self-employed) ?

Up to 5 hours per week	8 (1.5%)
5-10 hours per week	13 (2.4%)
10-20 hours per week	11 (2.1%)
Over 20 hours per week	32 (6.0%)
Occasionally	42 (7.9%)
Never	425 (80.0%)

Question Number : 38 NUMBER OF RESPONDENTS TO QUESTION : 666

How often do you use the following shops and services?

	daily	weekly	monthly	less frequently	never
Clifton Stores	103 (15.5%)	230 (34.5%)	91 (13.7%)	99 (14.9%)	46 (6.9%)
Mobile Library	0 (0.0%)	8 (1.2%)	16 (2.4%)	14 (2.1%)	455 (68.3%)
Clifton Post Office	86 (12.9%)	221 (33.2%)	81 (12.2%)	111 (16.7%)	65 (9.8%)
The Bull	19 (2.9%)	57 (8.6%)	53 (8.0%)	164 (24.6%)	239 (35.9%)
Townsend Memorial Hall	4 (0.6%)	39 (5.9%)	45 (6.8%)	195 (29.3%)	233 (35.0%)
Bodycraft	0 (0.0%)	1 (0.2%)	15 (2.3%)	49 (7.4%)	433 (65.0%)
Hairdressers	5 (0.8%)	16 (2.4%)	36 (5.4%)	35 (5.3%)	423 (63.5%)
Rugby Pine Shop	0 (0.0%)	1 (0.2%)	7 (1.1%)	77 (11.6%)	421 (63.2%)
Lock-Stop Bistro	5 (0.8%)	4 (0.6%)	10 (1.5%)	32 (4.8%)	445 (66.8%)
Playing Field	19 (2.9%)	55 (8.3%)	36 (5.4%)	94 (14.1%)	309 (46.4%)
Tennis Courts	1 (0.2%)	16 (2.4%)	10 (1.5%)	31 (4.7%)	445 (66.8%)
Childrens play area	16 (2.4%)	50 (7.5%)	38 (5.7%)	60 (9.0%)	342 (51.4%)

Question Number : 39 NUMBER OF RESPONDENTS TO QUESTION : 495

If you use the local Post Office, please say what for?

Postal services	453 (91.5%)
Pensions/Allowances	83 (16.8%)
Giro bank/savings certificates etc.	33 (6.7%)
T.V. Licence/other bills	159 (32.1%)
Information leaflets	47 (9.5%)
Other services	248 (50.1%)

Question Number : 40 NUMBER OF RESPONDENTS TO QUESTION : 666

Should the following be encouraged in and around Clifton ?

	strongly favour	in favour	no strong opinion	reservations	definitely not
Tourism development/attractions	45 (6.8%)	73 (11.0%)	173 (26.0%)	81 (12.2%)	162 (24.3%)
Small business development	31 (4.7%)	84 (12.6%)	135 (20.3%)	103 (15.5%)	179 (26.9%)
Small scale industrial workshops	31 (4.7%)	33 (5.0%)	93 (14.0%)	101 (15.2%)	280 (42.0%)

Question Number : 41 NUMBER OF RESPONDENTS TO QUESTION : 371

Would any of the following locations be suitable for new homes?

Infill within existing village boundary?	236 (63.6%)
Extension of Village boundary?	67 (18.1%)
BT (Aerials) site?	157 (42.3%)

Question Number : 42 NUMBER OF RESPONDENTS TO QUESTION : 591

Do you think Clifton can accommodate more new housing?

Yes	130 (22.0%)
No	349 (59.1%)
Don't know	112 (19.0%)

Question Number : 43 NUMBER OF RESPONDENTS TO QUESTION : 585

Would you have any objections in principle to a development which might help to meet the housing needs of local people?

Yes	190 (32.5%)
No	293 (50.1%)
No opinion	102 (17.4%)

Question Number : 44 NUMBER OF RESPONDENTS TO QUESTION : 666

What are your views on local social facilities for?

	good	reasonable	poor	no opinion
Children up to 16	36 (5.4%)	130 (19.5%)	169 (25.4%)	171 (25.7%)
Young people 17-25	7 (1.1%)	67 (10.1%)	254 (38.1%)	166 (24.9%)
People 26-60	37 (5.6%)	180 (27.0%)	123 (18.5%)	164 (24.6%)
People over 60	55 (8.3%)	177 (26.6%)	73 (11.0%)	223 (33.5%)

Question Number : 45 NUMBER OF RESPONDENTS TO QUESTION : 666

Are the following youth facilities in Clifton ?

	good	reasonable	poor	no opinion
Scouts	7 (1.1%)	5 (0.8%)	44 (6.6%)	348 (52.3%)
Guides	13 (2.0%)	21 (3.2%)	25 (3.8%)	340 (51.1%)
Youth Club	6 (0.9%)	11 (1.7%)	60 (9.0%)	318 (47.7%)
Youth Football	43 (6.5%)	39 (5.9%)	26 (3.9%)	296 (44.4%)
Tennis Club	116 (17.4%)	45 (6.8%)	6 (0.9%)	249 (37.4%)
Karate	30 (4.5%)	29 (4.4%)	7 (1.1%)	326 (48.9%)
SCREAM	27 (4.1%)	27 (4.1%)	5 (0.8%)	334 (50.2%)
JAM	40 (6.0%)	27 (4.1%)	7 (1.1%)	320 (48.0%)
Junior Church	35 (5.3%)	35 (5.3%)	8 (1.2%)	322 (48.3%)

Question Number : 46 NUMBER OF RESPONDENTS TO QUESTION : 145

Do you attend any of the following in Clifton ?

Gardening Club	41 (28.3%)
Womens Institute	28 (19.3%)
Computer classes	9 (6.2%)
T'ai Chi	5 (3.4%)
History Group	29 (20.0%)
Pilates	2 (1.4%)
Bridge Club	3 (2.1%)
Whist Club	7 (4.8%)
St. Mary's Church	96 (66.2%)
Bell Ringers	11 (7.6%)

Question Number : 47 NUMBER OF RESPONDENTS TO QUESTION : 552

Where do you usually get information about events taking place in Clifton ?

Notice Board	238 (43.1%)
Parish Magazine	340 (61.6%)
Rugby Advertiser	277 (50.2%)
Free paper	216 (39.1%)
Clifton Post Office	257 (46.6%)
Village website	18 (3.3%)
Other	68 (12.3%)

Question Number : 48 NUMBER OF RESPONDENTS TO QUESTION : 562

In relation to footpaths and bridleways - would you like to see any of the following?

Maps of local footpaths	326 (58.0%)
Leaflets of walks available to buy	239 (42.5%)
Guided walks of the area	115 (20.5%)
Improvement of existing paths	258 (45.9%)
Additional paths	156 (27.8%)
No opinion	154 (27.4%)

Question Number : 49 NUMBER OF RESPONDENTS TO QUESTION : 574

What do you think should be done to help protect and enhance the local environment of Clifton ?

Recycling	251 (43.7%)
Energy saving	101 (17.6%)
Improved public transport	214 (37.3%)
Community composting	138 (24.0%)
Car sharing	55 (9.6%)
More employment locally	68 (11.8%)
Advice on healthier lifestyles	45 (7.8%)
Reduce traffic	331 (57.7%)
Good neighbour scheme	226 (39.4%)
Other	21 (3.7%)
Nothing	14 (2.4%)
Don't know	56 (9.8%)

Question Number : 50 NUMBER OF RESPONDENTS TO QUESTION : 561

What types of development would you support within the existing village boundaries?

Light industrial	40 (7.1%)
Small groups of houses	194 (34.6%)
Large estates	12 (2.1%)
Craft workshops	180 (32.1%)
Retail	69 (12.3%)
Office space	29 (5.2%)
Single dwellings	190 (33.9%)
None	219 (39.0%)

Question Number : 51 NUMBER OF RESPONDENTS TO QUESTION : 546

What types of development would you support as an extension of the existing village boundary?

Light industrial	59 (10.8%)
Small groups of houses	148 (27.1%)
Large estates	15 (2.7%)
Single dwellings	124 (22.7%)
Retail	56 (10.3%)
Office space	35 (6.4%)
Craft Workshops	123 (22.5%)
None	297 (54.4%)

Question Number : 52 NUMBER OF RESPONDENTS TO QUESTION : 564

If development were to take place in the future, what types of development would you support on the BT (aerials) site?

Light industrial	122 (21.6%)
Warehousing	66 (11.7%)
Small groups of houses	226 (40.1%)
Large estates	52 (9.2%)
Wind farm	249 (44.1%)
Marina	214 (37.9%)
Single dwellings	123 (21.8%)
Retail	105 (18.6%)
Office space	83 (14.7%)
Craft workshops	177 (31.4%)
None	120 (21.3%)

Question Number : 53 NUMBER OF RESPONDENTS TO QUESTION : 584

If the BT (aerials) site were to be developed do you think there should be a relief road provided prior to development taking place to take traffic from the site to Butler's Leap?

Yes	454 (77.7%)
No	54 (9.2%)
Don't know	76 (13.0%)

Question Number : 54 NUMBER OF RESPONDENTS TO QUESTION : 580

If there were to be a relief road should vehicles be able to join it/leave it at Hillmorton Lane?

Yes	160 (27.6%)
No	273 (47.1%)
Don't know	147 (25.3%)

Question Number : 55 NUMBER OF RESPONDENTS TO QUESTION : 538

If suggestions raised by the questionnaire require money for implementation, where should that money come from?

Private contributions	111 (20.6%)
Moderate council tax increases	138 (25.7%)
Higher council tax increases	7 (1.3%)
Parish Precept	186 (34.6%)
Fundraising	148 (27.5%)
Sponsorship	154 (28.6%)
Developers contribution	389 (72.3%)
Other	38 (7.1%)

Notes:

A small number of respondents did not enter their personal details (Age, Gender, Location), these have been input as 45-59 males living in Clifton

Some residents entered ticks where numbers were required on certain questions or ticked under the person number, where possible assumptions have been made as to what the person was trying to score

On Question 11 you can only input one choice, but some residents ticked more than one, therefore the first choice was input.



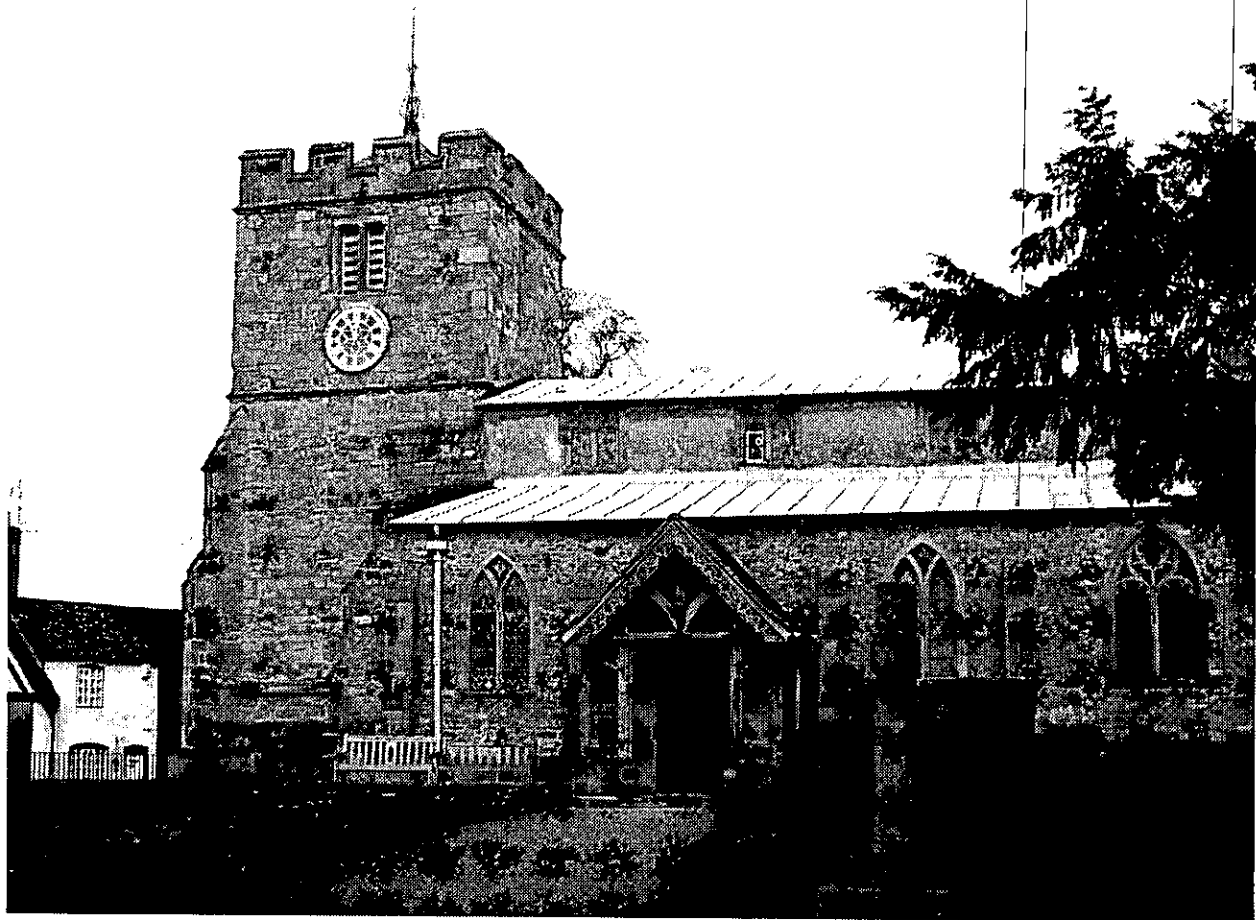
Section Three - Village Design Statement

Section Three

Village Design Statement

The largest part of the project! The Village Design Statement was developed following extensive consultation with residents. Several draft versions of the document were displayed during the consultation process and all comments received were discussed with our expert and impartial advisers prior to being incorporated into the final document. The Village Design Statement was adopted by Rugby Borough Council as Supplementary Planning Guidance on 2nd August 2004.

Clifton upon Dunsmore



Village Design Statement 2004

Part of the Parish Plan Project sponsored by



This document has been prepared by
The Parish Plan Steering Group on behalf of
Clifton upon Dunsmore Parish Council

THIS VILLAGE DESIGN STATEMENT WAS ADOPTED AS
SUPPLEMENTARY PLANNING GUIDANCE BY RUGBY BOROUGH
COUNCIL ON 2ND AUGUST 2004

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FOREWORD

I am both honoured and delighted to have been associated with the preparation and presentation of the Clifton upon Dunsmore Parish Plan. I have always been an advocate of Village Design Statements and Parish Plans, intended as they undoubtedly are to enable people to express **their views** about **their village**. To know that one of the villages that I represent is considered an example to other villages to encourage them to do the same, is a matter of pride to me. I send my sincere congratulations to all involved in this project – well done all of you.

Cllr. Hazel Bell
Rugby Borough Councillor, Avon and Swift Ward

ACKNOWLEDGEMENTS

- The Countryside Agency, who have funded the Parish Plan project
- Dr. David Collins and Dick John, Clifton upon Dunsmore History Group
- Year 6 pupils, Clifton upon Dunsmore C of E School
- Rob Parker-Gulliford, Conservation Officer of Rugby Borough Council
- Steve Bambrick and Andrew Rose of Rugby Borough Council
- Warwickshire Rural Housing Association, for carrying out the Housing Needs Survey
- Linda Ridgley of Warwickshire Rural Community Council, for her unfailingly good advice, common sense and encouragement when it was most needed
- Rachel Palmer for putting all of the consultation information onto the village website
- The residents of the Parish of Clifton upon Dunsmore, without whose input and support this project could not have happened

PARISH PLAN STEERING GROUP:

Leigh Hunt, Chairman
Alastair Robinson, Vice Chairman
Cllr. Cris Palmer, Secretary
Mike Aspeling, Treasurer
Clive Culling

Val Aspeling
Cllr. Faith Matthews
Margarita Smith
Alistair Sinclair
Kasar Singh

INTRODUCTION

The Clifton upon Dunsmore Village Design Statement and Housing Needs Survey set out the context for the short-to-medium-term development of the Parish. This document has been prepared by residents of the village with the full support of Clifton upon Dunsmore Parish Council and with the assistance of funding from the Countryside Agency. It forms part of the larger Parish Plan project.

Full details of the extensive consultation that has been carried out are given under the Methodology section. In addition, regard has been paid to the emerging Rugby Borough Local Plan 1996-2011 and the Rugby Borough Community Plan 2001-2006.

The result is a statement of local character which recommends design guidelines

IT HAS BEEN DEVELOPED FOR THIS VILLAGE, BY THIS VILLAGE

The Design Statement will be taken into account when considering planning applications. It is also to be made available to help **developers** understand local views and perceptions at the outset of their design and development process.

It is a source of ideas for **designers** working with the local building styles which have helped make Clifton upon Dunsmore what it is today and a source of assistance for **householders** extending or improving their properties. **It is a tool to help manage long term change in the Parish of Clifton upon Dunsmore – NOT TO PREVENT IT.**

It suggests where development should be avoided to help preserve Clifton upon Dunsmore's character. It sets out local guidelines to ensure that necessary developments - new houses, new workplaces, alterations and extensions - fit their surroundings and are in keeping with local character. It lays down guidelines to keep valuable features and gives positive suggestions for improvement. It highlights the commonplace features which together make this Parish a distinct entity – somewhere special – **HOME**. The Village Design Statement explains what Clifton upon Dunsmore residents believe is valuable about the character of the village they live in.

The Housing Needs Survey is the result of an extensive independent survey of all residents of Clifton upon Dunsmore Parish that was carried out in accordance with the guidelines issued by Rugby Borough Council. It identifies the type of housing needs that exist among existing residents and among those who have close family or work ties with the village.

This document represents almost 2000 years of evolution in Clifton upon Dunsmore Parish. We recognise that in order to thrive as a community the village must develop and this document sets out the framework within which that development should take place.

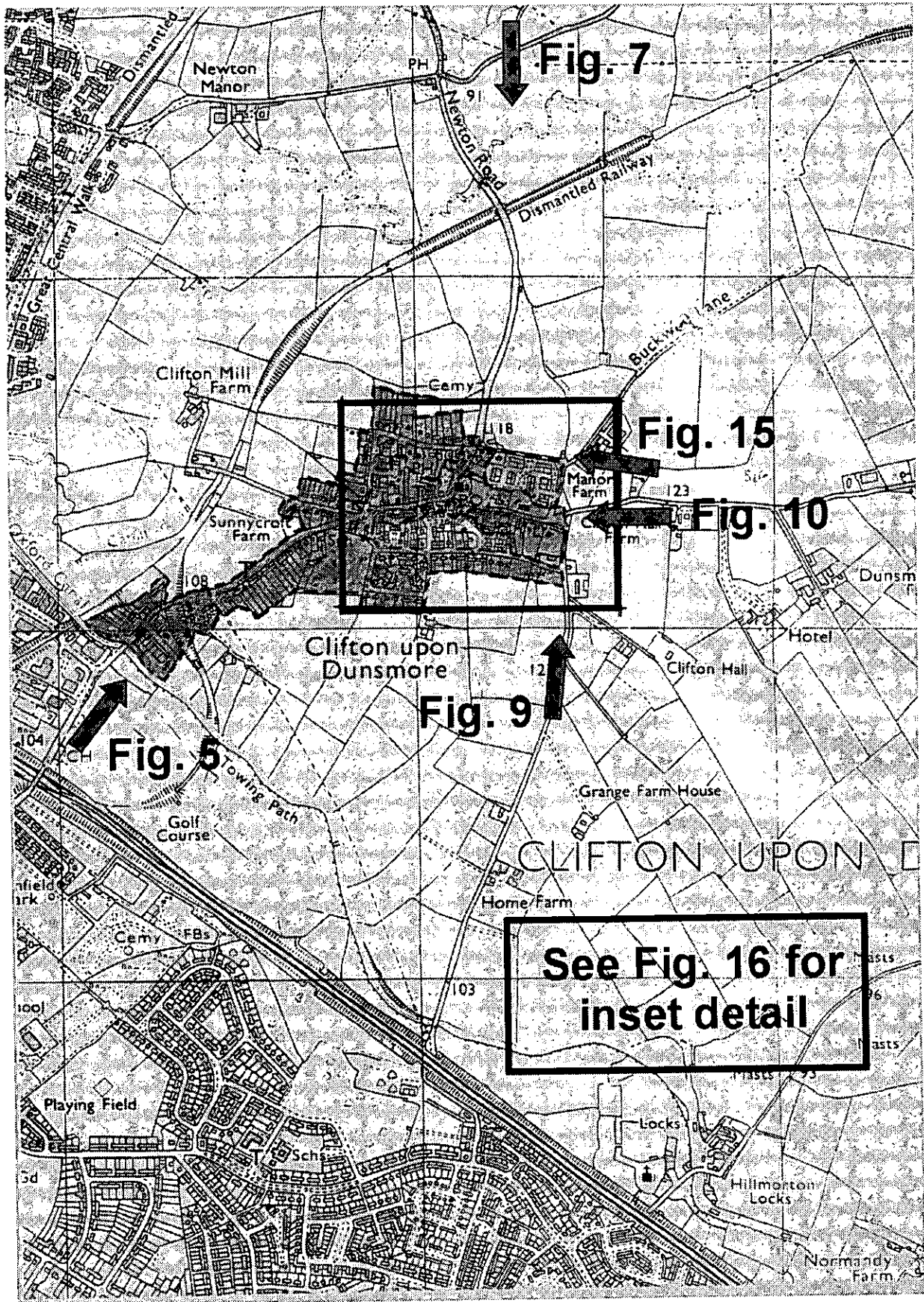


Figure 1 - Clifton upon Dunsmore in its setting showing important views towards the village

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The Purpose of the Village Design Statement

This village design statement aims to identify, preserve and enhance those aspects of the built environment of Clifton upon Dunsmore which are valued by residents as important to their quality of life and the identity of the village.

To achieve our aims we set the following objectives:

- identify existing qualities and features in the village's built environment;
- record, analyse, catalogue and display features identified by residents;
- consult residents regarding what they value within the village;
- preserve what is identified as positive and distinctive, and to enhance the environment in any future development;
- provide a copy of the statement to all local people;
- make the statement available to all potential developers; and
- seek adoption of the Village Design Statement by Clifton upon Dunsmore Parish Council and Rugby Borough Council in considering planning applications.

HOW TO USE THIS DOCUMENT

This Village Design Statement has been prepared for use by:

- **Local people** to assist in making decisions about alterations and extensions to their property.
- **Designers and developers** to provide ideas for appropriate development within our village.
- **Rugby Borough Council** as supplementary planning guidance in determining planning applications in the village.

The document has been divided into the following sections:

- **Introduction** – setting out the purpose of a Village Design Statement and how it can be used.
- **Local Context** which describes the history, geography, community and economy of Clifton upon Dunsmore which have shaped the village as it is today.
- **The Environment within our Village** identifies the overall pattern of development and looks in detail at five “character areas”. If you read nothing else it is recommended that you look at **A. Village Centre** and whichever area you live in.

The **Design Guidelines** for each area have been developed out of the existing positive aspects of the local environment identified in the text. It is hoped that these guidelines will be used, not to create onerous restrictions on what should be done but, to provide good examples of how to enhance the many good features present within our village environment. In Annexe A you will find recommendations on how to prepare your own assessment for use whenever you are considering improvements that affect the external appearance of your property.

We hope that you enjoy reading the Clifton upon Dunsmore Village Design Statement; that it helps to open your eyes (as it has ours) to the charm and detail in our village which is often overlooked; and that you will use it.

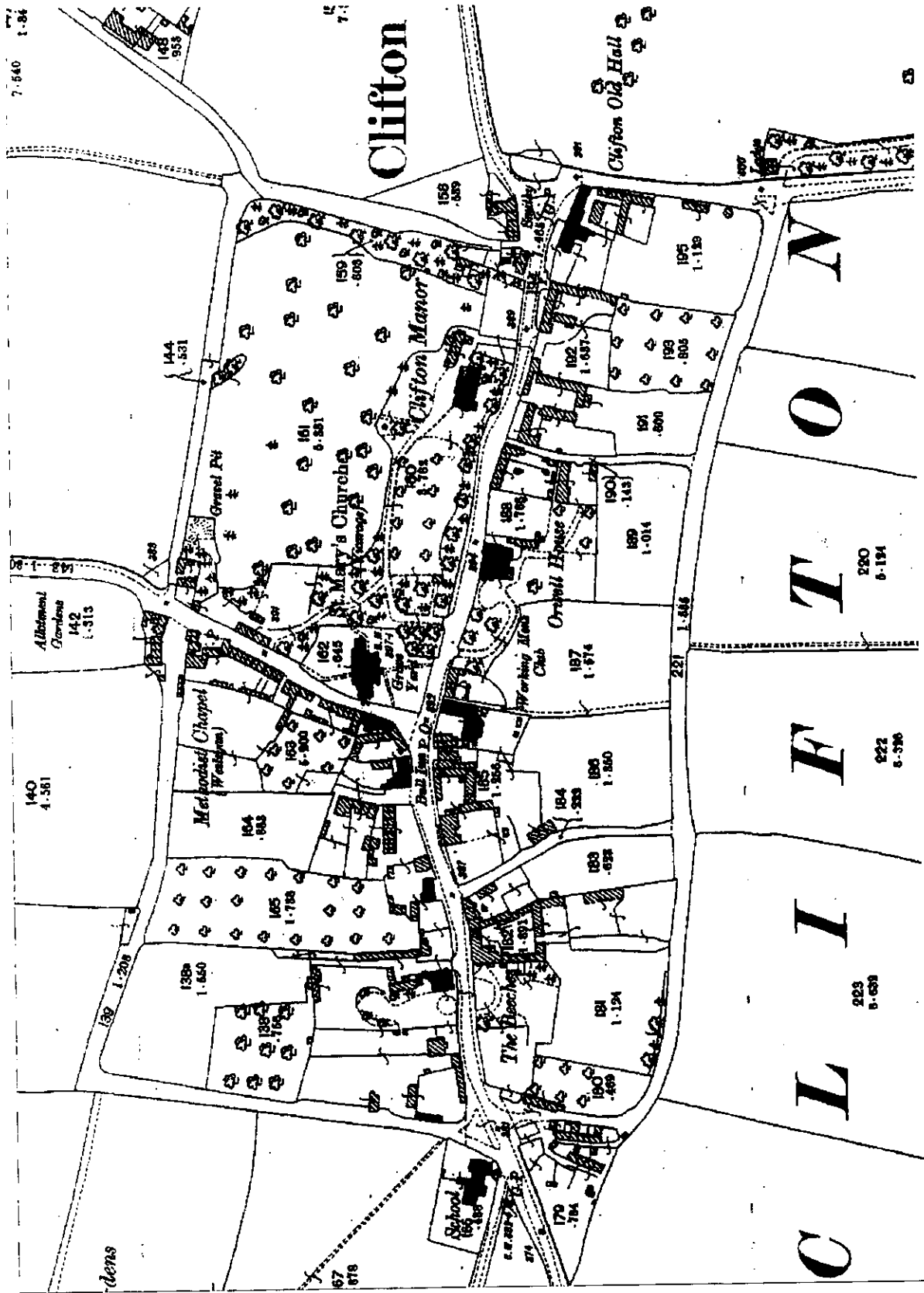


Figure 2 – Historic plan of Clifton upon Dunsmore, circa 1905
(See Annex A for descriptions of important buildings shown)

LOCAL CONTEXT

A Brief History of Clifton upon Dunsmore

The village first came into existence when the Celts settled the Avon valley. They chose a place that was easy to defend, had natural drainage and an assured source of clean water. It was a remote, quiet, agricultural settlement, just one of six such settlements that surrounded the tiny Iron Age market village of Rugby.

When the Romans built what is now called Watling Street they by-passed the tiny village of Clifton upon Dunsmore and established a legionary depot at Tripontium. It is possible that the present layout of North and South Roads in the village date from this period.

Clifton upon Dunsmore is recorded on the Domesday Book. At that time there were about thirty houses made of timber, mud and thatch with a population of about seventy people including a priest. There was a small church dedicated to St. Mary the Virgin of which nothing now remains.

In the fourteenth century the village came into the ownership of Robert Whitney of Whitney-on-Wye in Herefordshire and his descendants continued as absentee Lords of the Manor of Clifton upon Dunsmore until they sold to the Bridgeman family in 1663.

In 1604 the village was devastated by the plague; 84 people died out of an estimated population of 122. This was a terrible loss of labour in a village based on self-sufficiency but within ten years there were about 130 people living in the village. The rapid increase was as a result of a high birth rate and new people moving into the village. The village survived but many of the old family names never appear again in the church registers.

Agriculture at that time was by the inefficient medieval open field strip farming system, the vestiges of which can still be seen in the fields bordering the River Avon. This produced enough to live on but little surplus. In the 17th century farming practices began to change; this change was welcomed in Clifton upon Dunsmore and in 1648 the village agreed with their absentee landlord to enclose the open fields and for the smaller fields to be owned by influential villagers. In 1654 there were 40 houses. Most were of wooden frames filled with wattle and daub; they had thatched roofs and were not much of an advance on 1086. By 1730 the number of houses was the same but some were now built of brick and slate, evidence of limited population growth but increased affluence.

In the years prior to enclosure the Whitney family got into financial difficulties. To raise money they sold their estate and the rectory in Clifton upon Dunsmore to Sir Orlando Bridgeman and to his son John who eventually became the new Lord of the Manor, which included the right to appoint the Vicar. The Bridgemans kept the estate until 1790 and then it was broken up and sold to several different buyers. The Manor House and manorial rights went to the Townsend family but the right to appoint the Vicar stayed with the Bridgemans.

The Townsends came from Lawford in 1743 and stayed in the village until 1984. They had an important influence on the village throughout that time, in particular Thomas Sutton Townsend, who was born in the village in 1847 and educated at Rugby School. In 1885 he built what is now known as the Townsend Memorial Hall on the site of the Red Lion Inn and in 1894 he paid for urgent repairs to St Mary's Church. He also extended and altered the Manor House.

The Lords of the Manor were important historical figures as were some of the Vicars that they appointed. James Moor was perhaps the longest serving vicar ministering to the village for fifty years from 1803 to 1853. He was a master at Rugby School, co-founder of St Matthews Church Rugby, Rural Dean of Rugby and founder of what is now known as Clifton School. He spoke Greek, Latin and Hebrew, translated the whole of the bible from its original languages and preached fearsome sermons based on his studies. He was twice married and the father of fourteen children most of whom lived for part of their lives with him at The Elms. He was a significant presence in the village, revered, admired and a little frightening.

The affluence of the railway age brought expansion to the village. Sir Joseph Muntz, the Birmingham industrialist, commissioned Dunsmore House in 1881. The farm opposite belonged to the estate and was used as a stud farm. Some of the horses that were bred here, such as Dunsmore Gloaming, were owned by the Prince of Wales, who visited Dunsmore and bought horses. Following the death of Sir Joseph Muntz the estate was bought by Col. Little, who in turn sold it to Rugby District Council who intended to turn it into a nursing home. Although work started on the nurses' accommodation (now Magpie Lodge) nothing was done to the big house or other properties which were left empty for some time. Shortly after the war the property was occupied by American families, whose children went to school at Bruntingthorpe. Following a couple more changes of hands the estate sold for £9,000 in 1951 and was split up and sold as separate lots. The main house was split into two and occupied by private families; then the main accommodation was sold to a nursing home who later bought the old servant's quarters, thus reuniting the main house under single ownership. The nursing home closed some years ago, and following a period when it stood empty for some time the main house is now being renovated as a single private dwelling. Built in the Tudor-Gothic revival style it is now a Grade II listed building of outstanding architectural interest set within a conservation area and landscaped grounds of about 2.6 hectares Dunsmore is a small, private community consisting of a small number of substantial properties each with its own distinctive character. Most of them are set well back from the road behind a spinney and with open aspects to the south.

In 1890 John Bird Chirnside, who made his money sheep farming in Australia, moved into Clifton Hall. Colonel Mulliner, the owner of a coach-building firm in Coventry, re-developed a farmhouse out on the Lilbourne road, renamed it Clifton Court and moved there in 1905.

Our Community in Clifton upon Dunsmore

Today Clifton upon Dunsmore has a thriving village community. Weekly services at St Mary's and the busy daily routine of Clifton upon Dunsmore Primary School and Play Group are complemented by regular social activities for all ages.

Local activities include Karate and Judo Clubs, the Local History Group, Gardening Club, Women's Institute, The Bull Inn and the Tennis Club which caters for all ages.

The main venues for these activities are the Church, the School, the Townsend Memorial Hall and the pub. These buildings with their distinct identities, together with the shops, form the heart of the village. For outdoor activities the Playing Field provides a large open space with football pitches, tennis courts, basket ball square, pavilion and recently installed children's play area, skate board park and teenage shelter.

The Local Economy

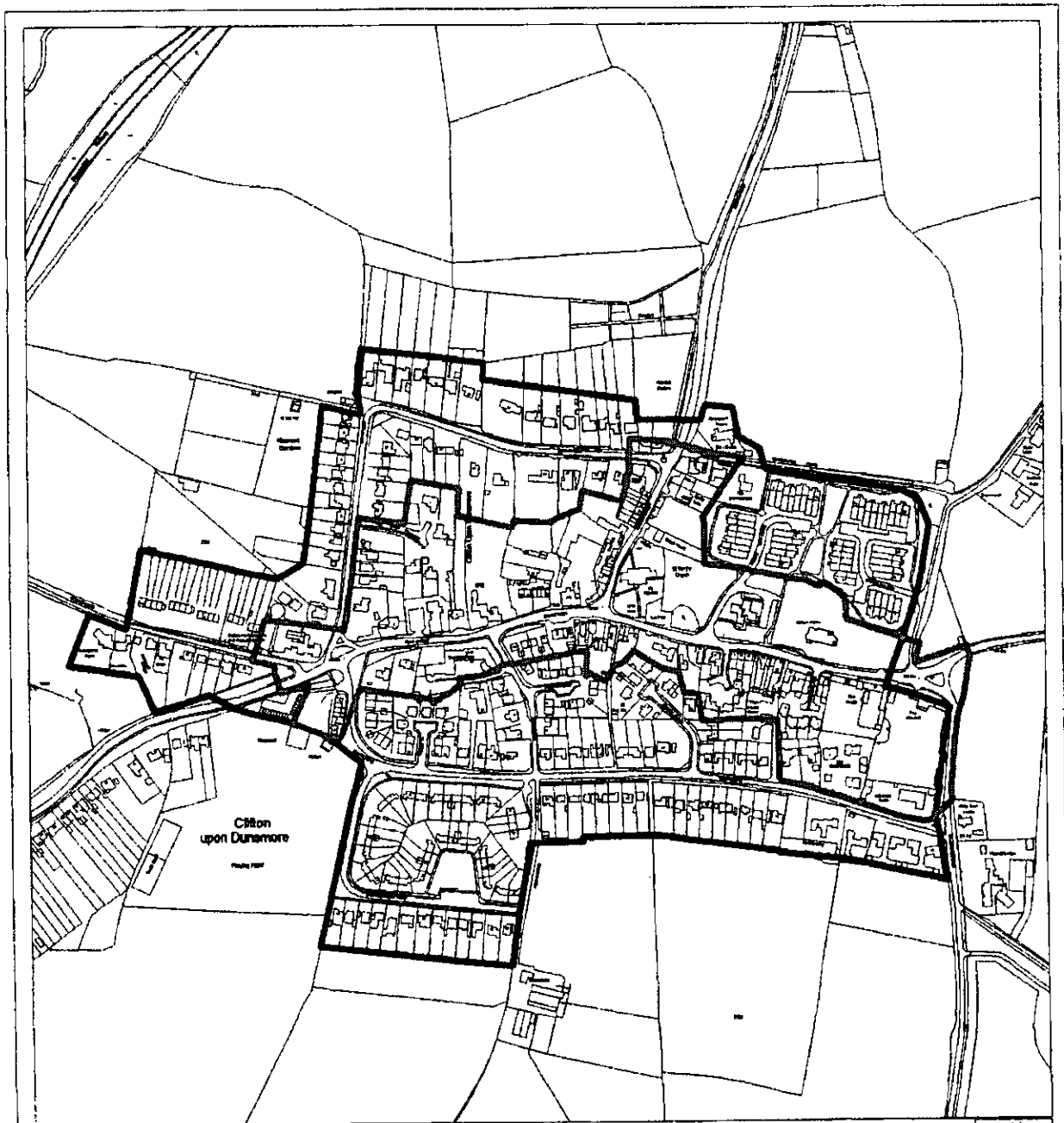
Clifton upon Dunsmore has traditionally been an agricultural community. Today there are still active farms within the Parish; most of the land is used as pasture for sheep, dairy and beef cattle plus some arable farming and market gardening. Whilst farming has ceased to be a major employer it remains an important part of the local economy and essential to the maintenance of the area's rural character.

The presence of the canal and West Coast Main Line to the south of the village has also provided valuable employment in the past and has contributed to the ribbon development of the village along Rugby Road to the railway cottages at Vicarage Hill. The railway connection has long passed, although in the past there were a station cottage and level-crossing at the bottom of Station Road, providing one of the main ways of travelling to Rugby and Market Harborough. Clifton Cruisers at the bottom of Vicarage Hill is a well established local business meeting the modern demand for narrow boat holidays on the canals.

The strong identity of Clifton upon Dunsmore as a village community is greatly enhanced by the life brought to the village centre by local businesses. Opposite St Mary's Church is the Bull Inn which as well as serving the village attracts lunchtime trade from Rugby. Opposite The Bull are the Post Office, pine furniture shop, hairdressers, beauticians and Clifton Stores.



Figure 3 - Clifton Cruisers, off Vicarage Hill



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PLANNING SERVICES

TECHNICAL SERVICES DEPARTMENT
 PO Box 123, Town Hall, Rugby, CV21 2ZP. Tel.No. 533533
 John Ware, B.A., M.C.D., Dip. L.A., Head of Planning Services



Clifton Upon Dunsmore Village Boundary and Conservation Area Boundary



Grid Ref. SP 5376	Date 20/2/2004	Scale 1:5000
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 Village Boundary
 Conservation Area Boundary

Figure 4 - Map showing Village and Conservation Area boundaries

Clifton upon Dunsmore in the Landscape

Clifton upon Dunsmore is situated on a small hill at the western edge of a ridge north-east of Rugby. The village retains its identity separated from Rugby by the West Coast Main Line railway line, the Oxford Canal, and Rugby Golf Club.

The village is approached up hill, from Rugby to the south-west, from Newton to the north and from Hillmorton to the south. A fourth approach is along the ridge which widens out into a plateau of Dunsmore Heath from Lilbourne and the A5 to the east.

The landscape around Clifton upon Dunsmore is probably best described as "Dunsmore plateau fringe" as defined by the Warwickshire Landscape Guidelines featuring "an undulating topography of low rounded hills and narrow meandering river valleys". This landscape is the product of the River Avon and its tributaries cutting through glacial sheet deposits of gravels and clays and the division of fields by hedgerows dating back to the enclosures of the 17th and 18th centuries. The village boundary is protected by an Area of Restraint identified by the Rugby Borough Council's Local Plan (Fig. 4)

a) *Approach from Rugby*

Travelling into Clifton upon Dunsmore from Rugby is understandably the least rural approach to the village. Clifton Road drops steeply down Spoil Bank after crossing the railway line cutting, with the golf club on the right and new housing on the left. Looking down from Spoil Bank a field where horses graze next to Clifton Brook catches the eye. Beyond the field the view is dominated by the backs of the terraced cottages in Avon Street, close to the top of the hill. The earthy hues of the original brickwork blend into the surrounding countryside but the rendered and painted rear elevations stand out in the landscape. At the bottom of the hill the road crosses Clifton Brook and the canal as it slopes, steeply again, up Vicarage Hill. There are two bridges over the canal. The road crosses via a traditional brick arched canal bridge No. 66 which has been widened to accommodate two-way traffic. The footpath, on the west side only, is carried by a distinctive metal footbridge. This bridge features black and white painted cast iron decorative lattice beams, forming the balustrades, set within a steel framework, with a corrugated steel and concrete deck. On crossing the canal by road or across the more recent footpath, it is possible to see Clifton Wharf to the left. This Victorian two-storey building was saved from demolition and is now used by Clifton Cruisers as a workshop for renovation and repair of narrowboats. At Vicarage Hill the village begins with Victorian railway cottages stepping up the hillside on the right while on the left are semi-detached houses circa 1955 set back on a service road behind a broad grassed area with small ornamental trees and a large oak. The fronts of the railway cottages, only a few feet from the road, form a barrier full of interesting detail which together with the steepness of the hill creates a brief intimate enclosure.

After crossing a bridge over a redundant railway line, now partially reclaimed as grazing land, the view opens out to the left. In the winter there is a panorama through the screen of established hedgerow and trees across a large field into the Avon Valley below. In the summer the leaf cover breaks up the view intermittently as one moves along the road. On the right a row of 1930s' semis follows the winding road rising gently to the school and the village centre. This process of descending into and rising out of the valley, crossing various barriers and seeing the green open spaces to either side of the road reinforce the experience of leaving Rugby and arriving in Clifton upon Dunsmore.

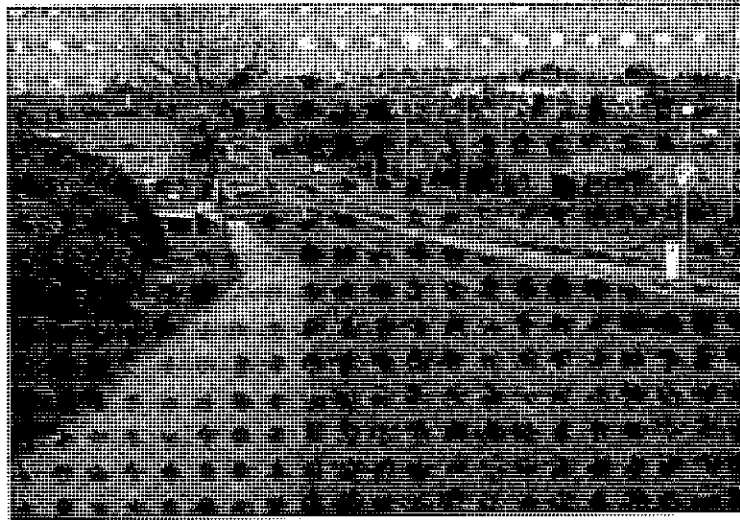


Figure 5 - View across the valley from Rugby towards Clifton upon Dunsmore showing the green space provided by the golf course and paddock beside Clifton Brook and the backs of Avon Street properties

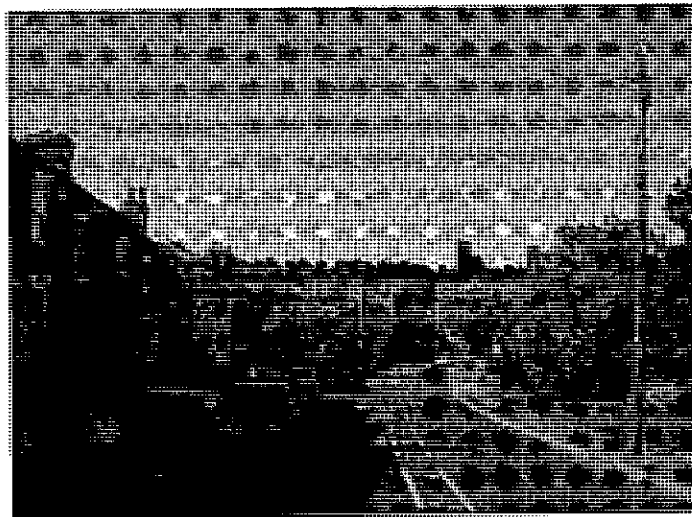


Figure 6 - View across the valley from Clifton upon Dunsmore towards Rugby with the Vicarage Hill cottages on the left and trees and the grassed verge on the right

b) *Approach from Newton*

Newton, a small village one mile north of Clifton upon Dunsmore, is also situated on a hill. From here Clifton upon Dunsmore appears as deciduous woodland at the top of a hill across a broad valley of grazing land, divided up by mature hedgerows dotted with trees and an area of deciduous trees along the disused railway. The "wood" follows a distinct, very straight, boundary along the top of the hill formed by the hedgerows along Manor Lane and the backs of North Road properties.

From Newton the road descends to St Thomas Cross, the junction with Newton Manor Lane, and after crossing the meandering River Avon, which often floods following heavy rain, rises steadily between a tall hedgerow and a line of trees on wide grass verges. The farmland here is exclusively pasture with a mixture of cattle, sheep and horses in fields and paddocks separated by hedges.

Near the top of the hill on the right is Clifton upon Dunsmore cemetery, entered through an attractive traditional lych-gate, with large oak timbers topped by a steep plain tiled roof, rebuilt in the 20th Century to match the red brick mortuary with rosemary clay tiled roof. From the cemetery there are fine views across the valley towards Newton. There is a small allotment garden, known as The Glebe, on the right, as the road passes between a tall hedge and a row of trees at the top of the hill before entering the village. This entrance is unfortunately scarred by a gateway of bright yellow traffic signs, two on each side, warning with unnecessary duplication of the speed limit and presence of speed cameras.

From the gateway of signs the road is suddenly squeezed between a row of simple Victorian cottages and the two storey wall of a former Clifton Manor estate building.

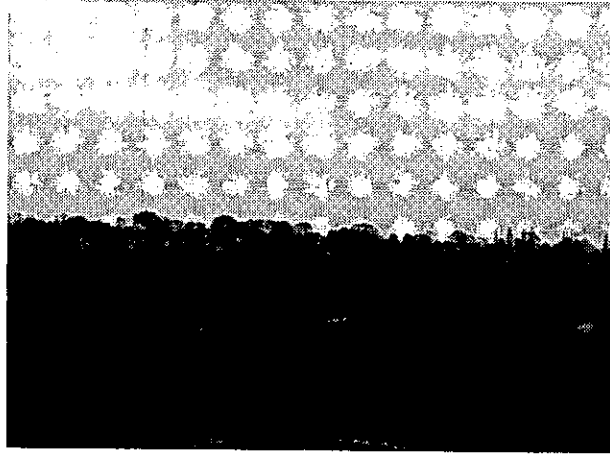


Figure 7 - View across the Avon Valley from the north showing Clifton upon Dunsmore as a wooded hilltop

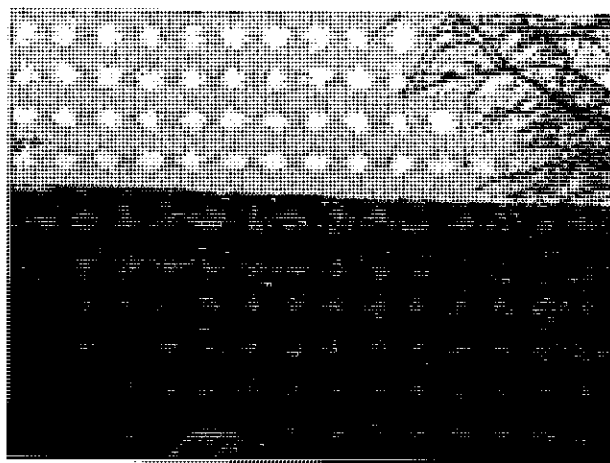


Figure 8 - View from Clifton upon Dunsmore Cemetery towards Newton across the patchwork of hedged fields

c) *Approach from Hillmorton*

The road from The Kent in Hillmorton passes alongside The Clifton Brook through an arched bridge built of blue engineering bricks under the West Coast Mainline Railway, turns sharp left and rises to cross the Oxford Canal over a concrete bridge constructed in the 1970s. The road, now Hillmorton Lane then rises more than 50 feet in less than 500 yards to reach the plateau on which the village stands. The hillside to the west of Hillmorton Lane is arable land, frequently put down to maize; the large pasture field on the

hillside to the east provides the main source of income for 'The Townland Charity'. The top of the silage tower at Home Farm is visible over the hilltop from the railway arch.

Hillmorton Lane is kerbed on both sides from the canal bridge as far as its junction with South Road and is bounded by rough grass verges, which are so narrow in places as to make walking on them hazardous. The thoroughfare is contained within managed hedgerows, mainly hawthorn but with other common hedgerow species interspersed. The hedgerows have regularly spaced oak and ash trees which are mostly past their prime and should be inter-planted with new indigenous saplings.

Home Farm lies about halfway between Clifton upon Dunsmore and Hillmorton on the eastern side of Hillmorton Lane and consists of a collection of buildings constructed from a variety of materials typical of a working mixed farm. The site is dominated by a domed aluminium silage tower with radio aerials mounted on it. From here there is a fine view across the Clifton Brook valley to the Church of St. John the Baptists at Hillmorton Locks. The footpath from South Road in Clifton upon Dunsmore joins Hillmorton Lane opposite the farm, and High View a substantial family home built in the 1960s with views across to the eastern side of Rugby stands opposite and slightly to the north of the farm. There is permanent pasture for cattle, sheep and horses on both sides of the road as far as the village boundary. Driveways off to the east of Hillmorton Lane lead away to Grange farm, Oakridge Farm and Clifton Hall, each positioned on the edge of the escarpment and overlooking the mast site.

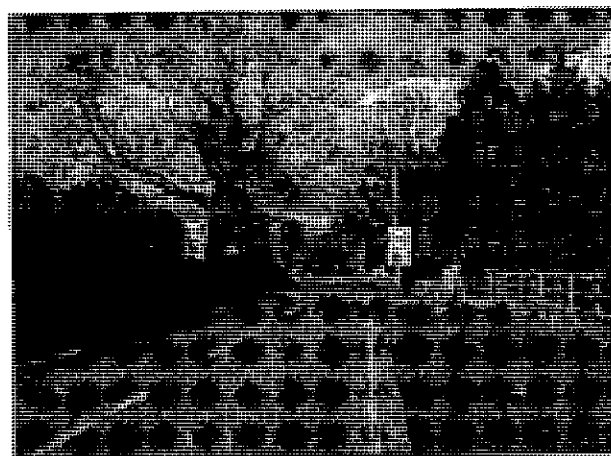


Figure 9 - The entrance to the village from Hillmorton dominated by hedges, mature trees, a wide verge and ugly highway signs

The entrance to the village proper highlights the different architectural styles predominant at the times when the properties were built. Visible on the skyline from some way off are the backs of four executive homes in South Road built by J S Bloor in 2000. These contrast sharply with Meranti Lodge opposite, a low building from the 1950s, mainly flat roofed and constructed from a variety of timbers from all over the world over low brick walls. Meranti Lodge covers a considerable area and is set back from the road among mature trees. Next to Meranti Lodge and characterised by its white rendered walls, window shutters and steeply pitched slate roof stands Holly Tree Lodge, which was built in Victorian times as the gatehouse to Clifton Hall.

The junction with South Road leading off to the west retains its triangular island, or "God Cake", with a single horse chestnut tree in the centre, a site popular in autumn with generations of children growing up in Clifton upon Dunsmore. On the left, adjacent to

Kingston Garth, an extensive bungalow built in the early 1970s among mature trees, stands a Victorian stable block belonging to The Old Hall and notable for its fine brickwork and small diamond window panes. The Old Hall garden is bounded by a high brick wall protected by four fine lime trees. On the right are views across a field (usually arable) known as 'The Park' and bisected by an avenue of Limes stretching towards Clifton Court to the east.

Hillmorton Lane ends at a complex and dangerous junction with Lilbourne Road by The Old Hall. The short length of road between South Road and The Old Hall has no kerbstones or footpath on its western side and neighbouring residents wish to keep it that way.

d) *Approach from Lilbourne*

On fields bounded by the A5 Watling Street to the south of Lilbourne Road runs the course for the annual Point to Point races organised by The Atherstone Hunt.

A quarter of a mile along Lilbourne road stands Dunsmore, a settlement built to serve the needs of the Dunsmore House estate. Most of the buildings including the imposing Dunsmore House (presently undergoing redevelopment) were built in the 19th century with three additional mid 20th century homes hidden among the trees. The unusual octagonal building opposite Dunsmore Gate House is said to have been built as a covered riding school, but was possibly used to school horses rather than their riders. An equestrian centre now occupies part of the original park land.

Past Dunsmore the countryside opens out once more with fields rising gently to the South towards the edge of the escarpment overlooking the mast site, with Northamptonshire in the distance, while those to the North begin the slope downwards towards the Avon Valley. All but one of the farmhouses and agricultural cottages built along the edge of the escarpment have now been converted into family homes, the largest being Clifton Court, now used as a Nursing Home. Nearer to Lilbourne Road and closer to the village are Hall Farm House and The Gables, built in the early 20th century.

The junction with Hillmorton Lane and Buckwell Lane on the edge of the village can come as a surprise to drivers unfamiliar with the district as the approach along the winding hedged road provides no views of the approaching village. The signpost to Hillmorton is almost hidden when the horse chestnut and lime trees growing on the island in front of The Old Hall are in leaf. In spring, the daffodils planted by The Parish Council significantly enhance the appearance of this entry point to the village. There is a distinct dip in the land east of this junction, the vestige of the village pond, filled in during the 1950s. Opposite the Old Hall the village smithy used to stand, along with several workers' cottages.



Figure 10 - The entrance to the village from Lilbourne featuring narrow verges, hedges, and many mature trees

Design Guidelines – Village Setting

- **The village envelope should be maintained and any building that takes place should be within the village boundary as indicated on Fig. 4**
- The views out of Clifton upon Dunsmore are as important as the views within the village itself and should be maintained.
- Spaces between buildings should not be infilled by extensions or new buildings that obstruct views out of the village.
- Hedgerows define the landscape, provide a valuable habitat for local flora and fauna and should be preserved.
- The appearance of the backs of properties on the village boundaries have a great impact on views into the village; it is important therefore to respect the style, scale and materials of existing buildings. Existing rendered walls can be painted dark red/browns or terracotta to blend with the local brick.
- The green buffer between Clifton upon Dunsmore and the town of Rugby is essential to preserve the identity of Clifton upon Dunsmore as a village and should be preserved. To this end no development which would compromise the green buffer between Rugby and Clifton upon Dunsmore should take place on Rugby Golf Course, on the paddock adjacent to Clifton Brook, in Barnett's Field along Rugby Road and Station Road; or along the Avon Valley flood plain.
- The historic nucleated settlement pattern of Clifton upon Dunsmore should be conserved by avoiding new development in open countryside.
- The Warwickshire Landscapes Guidelines for Plateau fringe should be followed by the local farming community to enhance the character of the local landscape

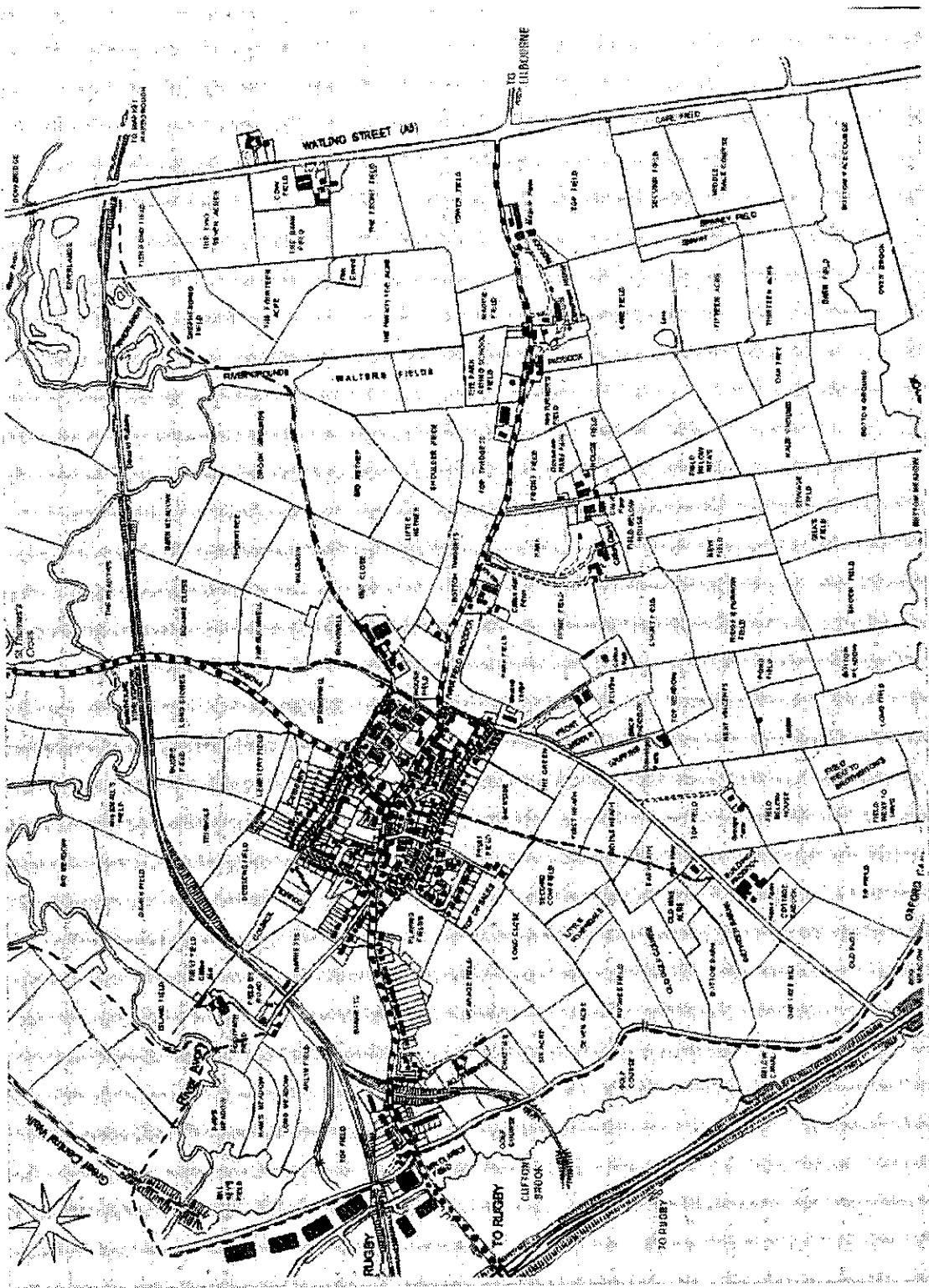
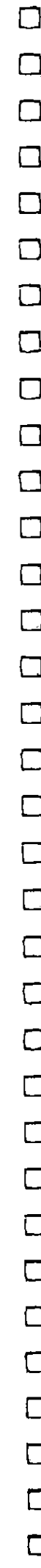


Figure 11 - Principal roads and footpaths in Clifton upon Dunsmore

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KEY

- ■ ■ ■ ■ Approach Roads
- ▨ Ancient Rectangular Road Pattern
- — — — — Footpaths & Bridleways



Highways & By-ways

Clifton upon Dunsmore can be approached by car along four roads. The roads from Rugby, Newton and Lilbourne meet at the junction at the village centre. The fourth approach, from Hillmorton, meets the Lilbourne Road on the eastern edge of the village. Apart from connecting these settlements, both the Lilbourne and Newton Roads link with the A5 and provide a shortcut between Rugby and the junction of the M1, M6 and A14 via Catthorpe, adding considerably to the volume of traffic through the village.

Most local footpaths and bridleways are also well used. Near the bottom of Station Road the road crosses the now disused arm of the canal, which is crossed using the original bridge that has survived despite attempts to change it, although stone copings have been recently repaired. The branch canal and its basin to the right of the bridge have now been drained and the railway closed in the '60s; now there is a paddock to the left and spinney on the right with willow, ash and sycamore flourishing in the damp conditions.

Beyond the bridge the road drops to the Avon flood plain passing four houses built between the late 19th and late 20th Centuries. The most notable of these is a pair of Victorian cottages with rough-cast rendered walls and distinctive saw-tooth corbelling to both eaves and gable verges, beneath a plain clay tiled roof.

A private road to the right then leads to Clifton Mill Farm, the former water mill, and the footpath, accessed by a stile, crosses a water meadow to a wooden bridge over the young River Avon. Beyond the river the flood plain forms a park owned by Rugby Borough Council with rough grassland interspersed by small clumps of immature hawthorn, beech and alder. This area's vulnerability to flooding provides natural protection to the "green buffer" between Clifton upon Dunsmore and the ever-expanding Rugby suburb of Brownsover. The footpath continues beside the meandering river and under a bridge beneath the Great Central Walk, a former railway line, to link with Brownsover to the west. Circular walks can be completed either by going north along the Great Central Walk to Newton and back to Clifton upon Dunsmore or by continuing to the Oxford Canal where the towpath can be followed back to Vicarage Hill or Hillmorton Lane.



Figure 12 - View along the footpath in Station Road, across the Avon flood plain with Brownsover in the distance

To the north the ancient bridleway **Buckwell Lane** enjoys wide verges with a small copse at the top near its junction with Lilbourne Road where there is a bench to sit and watch the traffic go by or admire the picturesque Old Hall and the views out of the village. Further

down Buckwell Lane on the left is a wide hedge that runs into a small spinney. The views out of the village from this point show the sweep of the Avon Valley towards St Thomas Cross and across to Newton. After passing a small group of houses, Buckwell Lane ends as a road at Manor Farm and descends the hill via a series of fields through large metal gates, recently replaced to ease the passage of horses or walkers. The large fields, occupied mainly by sheep, are enclosed by hawthorn hedges with many large ash trees close to the path. At the bottom of the hill conditions become very muddy as the path continues past Clifton Lakes Fishery to the A5.

Also emanating from the Spinney area at the top of Buckwell Lane is a footpath leading past the farm pond with its geese and ducks towards Newton. This little used footpath has some very rough conditions created by hardcore dumped on the path and in the summer by virtually impenetrable stinging nettles close to the Newton Road.

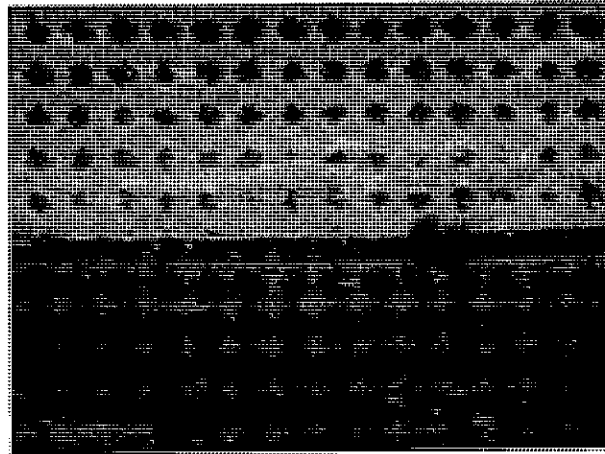


Figure 13 - Views out of the village from Buckwell Lane

The best path is probably the one which heads south from **South Road** towards Hillmorton. Here the thoughtful landowner has provided a kissing-gate for ease of access into the field occupied by impressive Highland Cattle. The field far exceeds the cattle's considerable appetites so it is periodically mown for hay as winter feed allowing ample opportunity for wild flowers to grow. One proceeds across four fields with views to the east of the imposing 800ft radio masts, recently reduced from twelve to four, and to the south-west towards the Rugby skyline beyond a local fishing pond to join Hillmorton Lane. If one follows the road for $\frac{1}{4}$ mile downhill the walk can be extended along the Oxford Canal towpath to Hillmorton Locks or to return to Clifton upon Dunsmore via Rugby Road or across the Avon and up Station Road.



Figure 14 - Kissing gate to South Road footpath provides easy access to the countryside

From these footpaths the visual impact of Clifton upon Dunsmore's hilltop buildings is greatly reduced and softened by the screening of hedgerows and the large number of mature trees within the village. This screening and greening of the village is a feature that can only be maintained by the commitment of local residents and landowners to preserve and when necessary replace these trees and hedgerows.

Manor Lane is a sunken, green lane which runs between hedge topped banks westwards from the spinney in Buckwell Lane, passing four houses at its furthest end before joining Newton Road opposite its junction with North Road. This is another area used regularly by dog walkers and horse riders. For most of its length Manor Lane is unsuitable for motor vehicles.

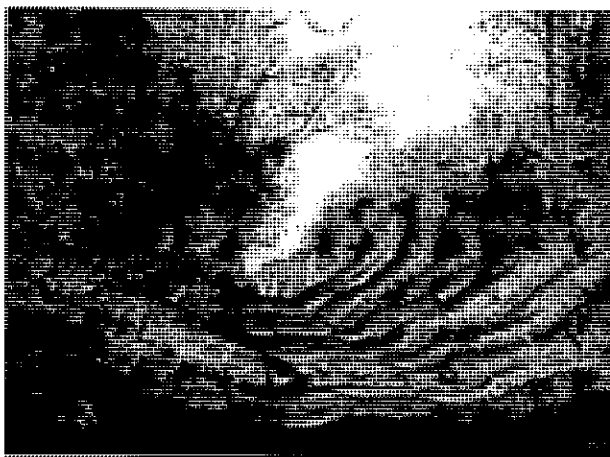


Figure 15 - Manor Lane is an attractive sunken lane with green banks topped by hedges and trees

Design Guidelines – Highways and By-ways

- The grassed junction triangles and the planting they accommodate are an important feature of our village and should be retained.
- Village name signs at the entrances to Clifton upon Dunsmore should be of a rural character and combined with a gateway effect signalling a change from countryside to village.
- High visibility highways signs should be minimised in number and size and where possible fixed to existing lamp posts.
- Manor Lane should be preserved as an un-surfaced sunken track bordered by hedges and native trees
- When possible stiles along local footpaths should be replaced with kissing gates for ease of access
- The verges, hedgerows and trees that border the roads approaching Clifton upon Dunsmore should be preserved and well maintained. Hedgerow trees should be replaced as and when necessary to maintain a good stock.
- Signage clutter should be removed, minimising the number of posts by fixing road names to buildings where possible

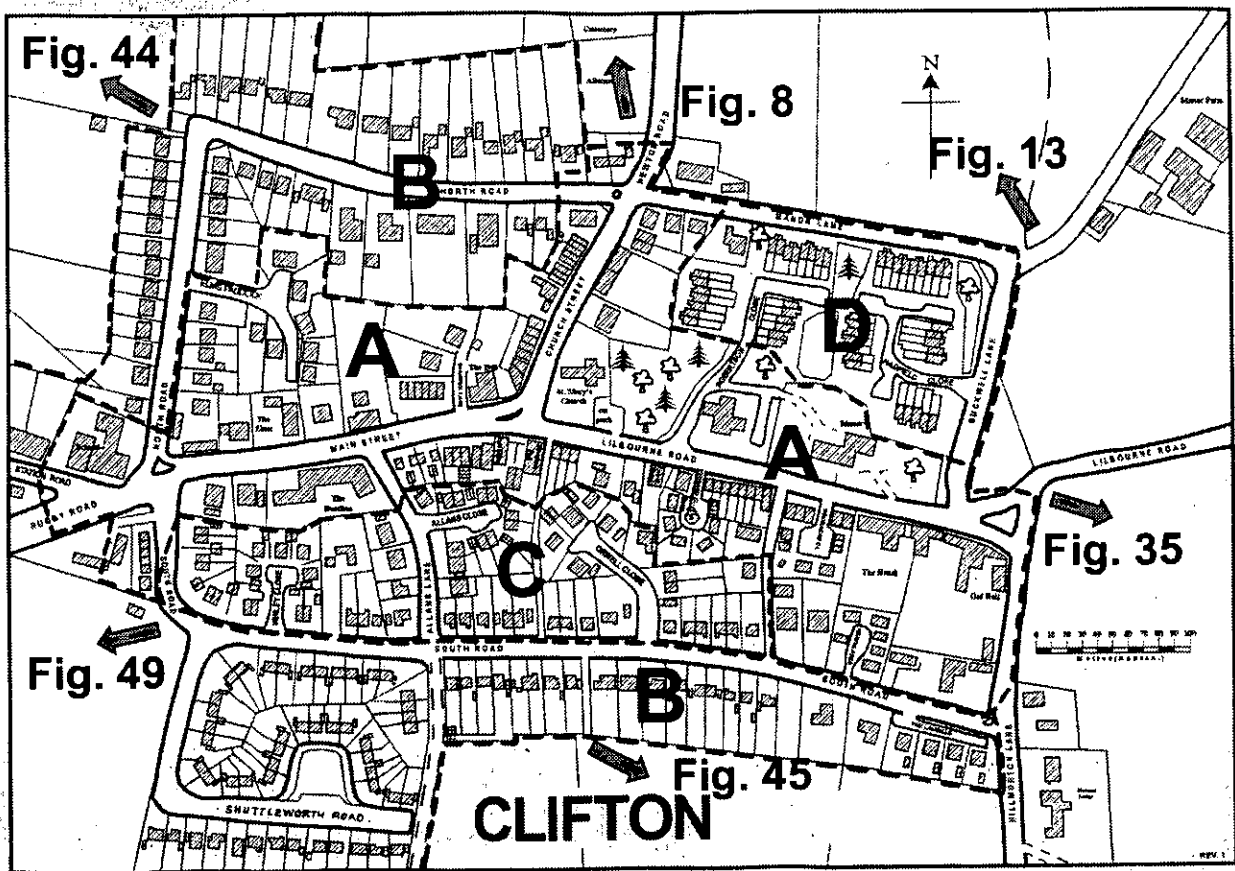


Figure 16 - We have split the village into areas according to when development took place. These areas are shown on this map and are referenced in the table of contents at the beginning of this document. This map also shows important views out of the village. To be read in conjunction with Figure 1

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THE ENVIRONMENT WITHIN OUR VILLAGE

Pattern of Development

The overall layout of Clifton upon Dunsmore has not changed for centuries. This consists of the roads from Rugby, Lilbourne and Newton meeting at a Y-junction at the centre of the village, with a rectangular pattern of roads around the centre formed by North Road, South Road, Hillmorton Lane, Buckwell Lane and Manor Lane. Three lanes link between Main Street/Lilbourne Road and South Road. Allan's Lane (now a residential road); the Lion Footpath (which is maintained by residents as an ecological area); and a gravel path adjacent to what was Goodacre Farm. There is an un-made road next to the Bull Inn that would have originally led to the rear of the properties in North Road and the cottages which have now been demolished and replaced with newer homes.

Clifton upon Dunsmore is not situated on a major route, but the junction of roads linking local settlements is no doubt the product of the village rather than the reason for its location. The rectangular road system is of unknown origin, although the shape and scale of the formation has led to conjecture that it is the vestige of a defensive arrangement – possibly Roman.

The oldest part of the village follows the three main roads in the area defined as the **Village Centre (A)** where the majority of buildings were constructed between the 16th and 19th centuries. These buildings include large former farmhouses and their grounds (now mainly developed by infill housing) and small workers' cottages.

The first half of the 20th century saw the beginning of development of housing along North Road and South Road with further extensions in the 1950s along Station Road, Shuttleworth Road and one side of Rugby Road linking the main village with **Vicarage Hill (E)**. This area of low density housing has been identified as **Inter-War and Post War Expansion (B)**.

In the 1960s properties on the south side of Main Street were demolished creating space for higher density **60s Infill Development (C)**.

Finally in the 1970s much of the park around Clifton Manor was sold to St Phillips Housing Association to build the **Manor Estate (D)**. This area consists of terraces of small family homes set amongst large trees.

These form the main character areas within the village discussed below, although smaller scale infill developments continue to the present day.

(A) The Village Centre (Pre 1919)

Incorporating Main Street, Church Street and Lilbourne Road.

Main features:

- Terraced housing
- Distinctive individual buildings
- Winding enclosure by buildings and landscaping
- Many mature trees

Description

The historic centre of Clifton upon Dunsmore is a Conservation Area incorporating properties along the three roads that meet at the centre of the village – Main Street, Church Street and Lilbourne Road. It is these streets which broadly constitute the village as it stood in 1850, when the school was built, and today provide the village with its particular identity.

The junction at the heart of the village possesses all the elements that a village should have: an attractive stone church set amongst trees in its churchyard; a village hall with its distinctive arched bargeboard; an imposing three storey public house; post office; general store; several other shops and picturesque cottages.

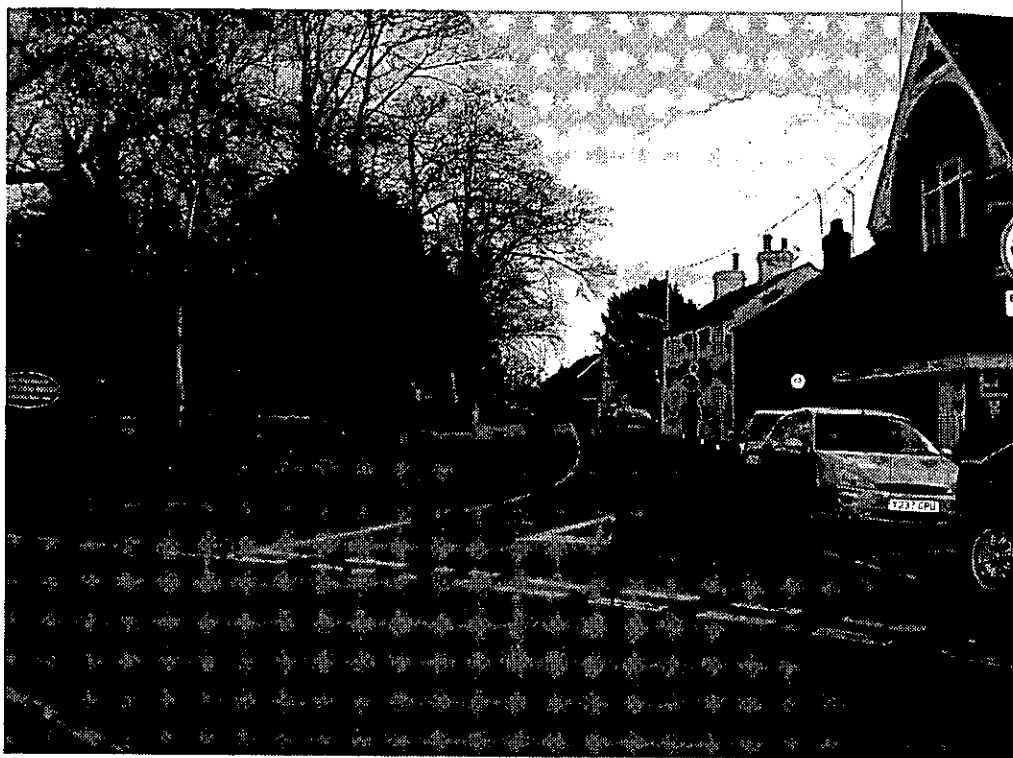


Figure 17 - View along Lilbourne Road from the village centre with trees in the church yard and pocket park on the left and buildings straight onto the pavement on the right, featuring changes in roof height and orientation, punctuated by chimneys



Figure 18 - View along Main Street from the village centre with three large copper beech trees and boundary wall in front of Avon Cottages opposite modern housing screened by planting

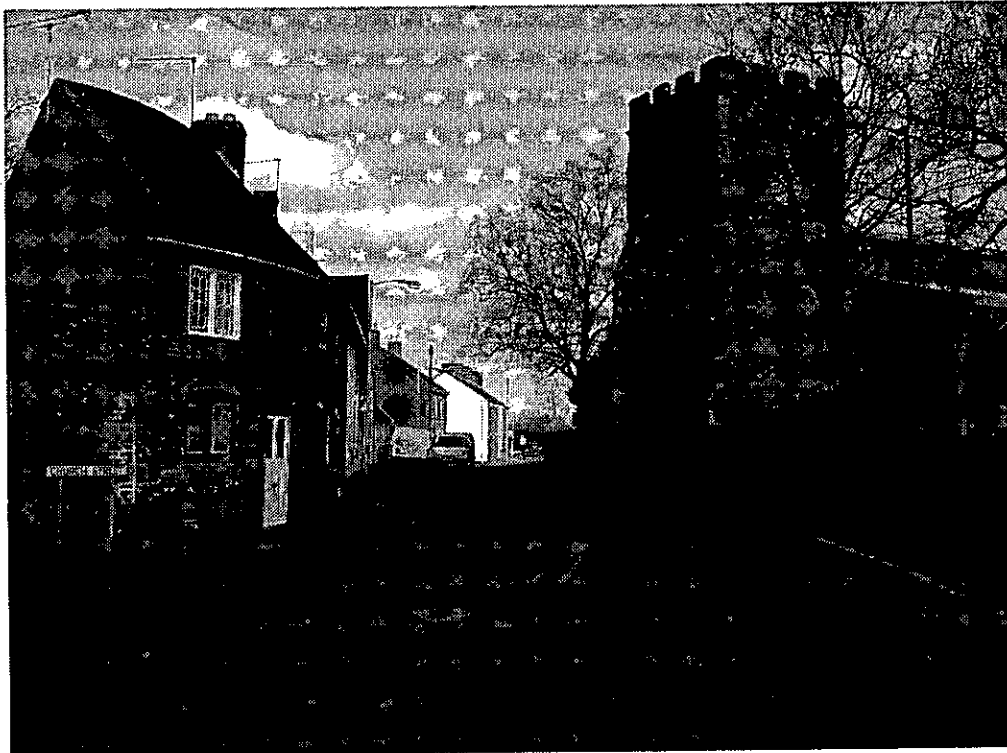


Figure 19 - View along Church Street from the village centre with the church tower framed by mature trees facing cottages tight to the curving road

As one travels through the village centre there is a strong sense of enclosure formed by terraced housing, high brick walls and mature trees. The walls of this enclosure constantly move in and out along the winding route, hiding and then revealing the way ahead. In some places, such as Bakehouse Cottage and the Clifton Manor boundary, the wall curves with the road; in others, frontages are angled and step in and out, such as the terraces facing Clifton Manor in Lilbourne Road.

The stretch of Lilbourne Road from The Old Hall to the Church retains a pleasing rurality, despite the volume of traffic. We move from the greenery of the eastern end of the village, past the long curving red brick wall bordering Clifton Manor and into the centre of Clifton upon Dunsmore, where St Mary's Church dominates.

Parts of the Village Centre have been redeveloped from the 1960s onwards. These include most of the south side of Main Street, Goodacre and Everard Closes behind Lilbourne Road properties and The Elms Paddock behind The Elms. It is the Main Street properties that are most noticeable but the impact of these buildings is reduced by their being set back from the road with trees, hedges and other planting to front gardens.

The Beeches flats, built in the 1980s, have the three storey mass of the façade broken-up by changes to the eaves height, materials (facing brick and painted render) and orientation of the roof in a rural style that relieves the inappropriate scale of the building.

A predominant consistency of traditional building materials has been preserved in this area, in the form of brick walls and plain clay tiled or slated roofs. The rendering of individual terraced properties is fortunately rare; however the replacement of slate and clay by non-traditional profiled concrete tiles is increasingly common. It is also a feature of the historic centre of the village for certain important buildings to contrast with the predominant form of the enclosing brick wall, providing variety and added interest to the street scene, such as The Elms and Orwell House which are painted render and St. Mary's Church which is constructed from sandstone.

Detailing & Materials

Roofs

Predominantly plain clay tile or slated with plain ridge tiles, there are some decorative ridge tiles such as the Post Office and the Old Hall. A feature that is repeated around the village core is steeply pitched roofs, such as Clifton Manor, Bakehouse Cottage and The Bull Inn. Some of the larger houses and The Bull have utilised their roof spaces by incorporating dormer windows, mostly tiled with leaded sides.

Sunnyside is the last remaining thatched property in the village; historically there were quite a number in the village which have, sadly, been lost over time. Elm Cottage, the Cob Barn and gabled cottage in Church Street were originally thatched.

Clifton Manor and School Farm House feature two pitched roofs linked by a shallow leaded valley to accommodate the depth of plan.

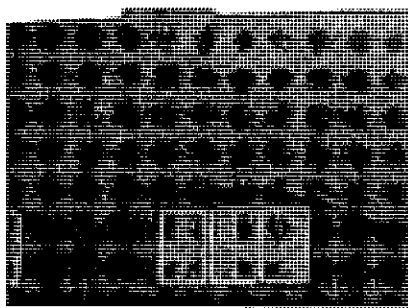


Figure 20 – Eyebrow roof of the Townsend Memorial Hall Cottages



Figure 21 – Double pitched roof, large chimney stack and curving down pipe of Clifton Manor

Chimneys

Most properties have simple functional chimneys with corbelled tops. Variety is provided by Clifton Manor with a stack straddling both roofs with a rank of seven flues; the Townsend Memorial Hall and Post Office with square stacks at 45 degrees; and The Elms with a tall straight stack with fluted render.



Figure 22 – Steep roof with hipped dormers of The Bull Inn

Eaves

The terraced houses in the village centre have a variety of simple eaves details. Bakehouse Cottage features a large overhang with the gutter supported off exposed rafter ends. Avon Cottages have simple corbelled eaves and along Lilbourne Road many houses feature “saw tooth” corbelling, all with a fascia board to carry the gutter and a minimal overhang. The larger houses tend to be more elaborate. A strong feature of all the older houses are cast iron and leaded rainwater goods of which there are some superb examples on Clifton Manor’s gable end and the bay windows at the Bull Inn. The Elms, in contrast, features very deep eaves with spaced shallow timber brackets and Orwell House has parapet walls with hidden lead gutters.

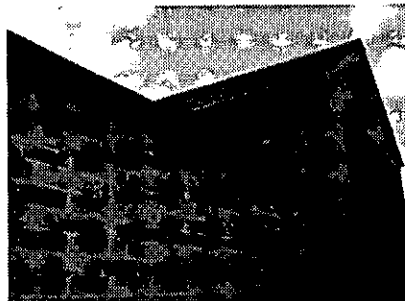


Figure 23 – Corbelled eaves and buttressed wall at The Heath

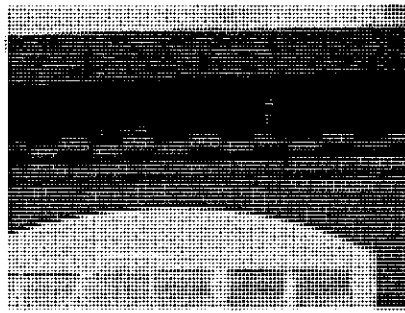


Figure 24 – Corbelled eaves and header brick arch to window at The Bull Inn

Walls

Brick built, with lime mortared joints and mainly Flemish Bond or Flemish Garden Wall Bond. Brickwork is a key feature for the length of the core of the village, with the majority of houses and all their perimeter walls being brick built. The imposing stepped wall forming the historic boundary of Clifton Manor is particularly important, with a curved entrance to the original main driveway. This curved style is repeated elsewhere in the village (e.g. 7 Main Street and the entrance to the car park). Bakehouse Cottage also show how buildings followed the curved line of the road.

The hanging tiles feature at first floor level to the Townsend Memorial Hall cottages is repeated on the Post Office and creates an attractive feature in the centre of the village. The Hall itself features English Bond brick walls with moulded brick to the arched head and sides of the deeply recessed windows and a cornerstone laid in 1885 stating "There is no Darkness but Ignorance".

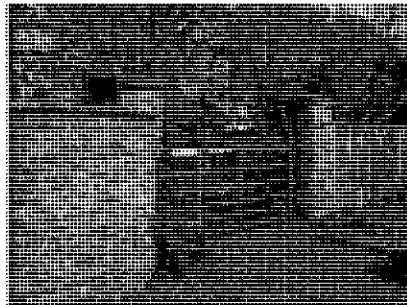


Figure 25 - Curved wall and barred gate at entrance to The Manor

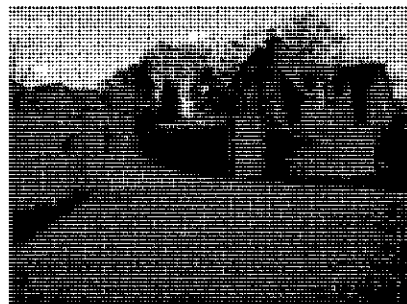


Figure 26 - Curved walls at entrance to The Heathlands

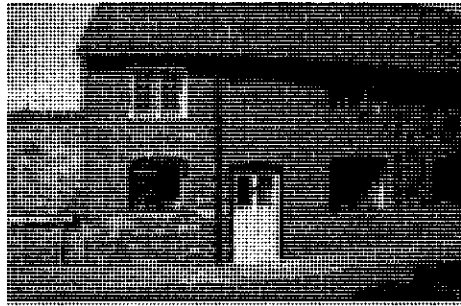


Figure 27 - Curved front wall of The Bakehouse

Doors

Quite a number of what appear to be original 18th century ledged and braced timber plank doors survive carrying the heavy door furniture of the period. The earlier terraced houses have very low doorways, a reminder of the fact that our ancestors were much smaller than us. There is a mix of brick arched and horizontal stone lintels.

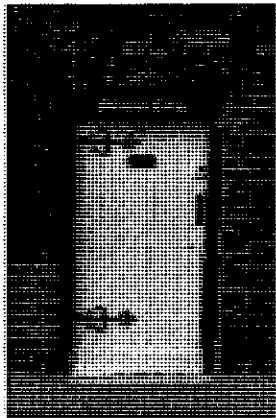


Figure 28 - Original plank door with ornate ironmongery at The Bakehouse

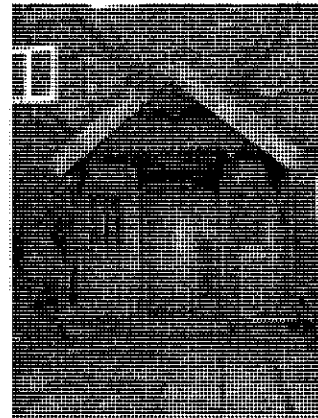


Figure 29 - Plank door detail and bargeboards at The Old Hall

Bargeboards

Two styles of these exist. Some buildings carry ornate wooden bargeboards such as the Townsend Memorial Hall. Others such as Sunnyside are deep and plain but are striking and form a strong border between walls and roofs. Many of the terraced houses have no bargeboard with only mortared joints bonding the tiled verges to the brickwork.

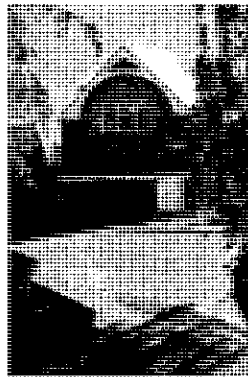


Figure 30 - Bargeboards at the Townsend Memorial Hall

Windows

A variety of window styles exists, including original timber and iron frames. The older windows are predominantly lighted either in a sash style or leaded. Sliding sash windows are predominantly the horned Victorian style with some Georgian sashes surviving at The Elms. The Bull Inn features two attractive (non-original) bow windows supported on timber brackets with decorative leaded lights with frosted, fluted and stained glass in a pattern reflecting the cast iron window at Bakehouse Cottage. As with the doorways there is a mix of lintel styles with arched and straight stone lintel openings. Many of the terraced houses have arched frames, which break up the otherwise straight lines.



Figure 31 - Bakehouse Cottage

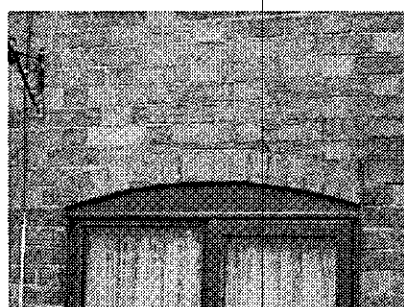


Figure 32 - Brick arch to cottage window

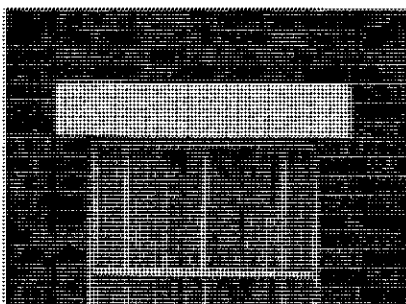


Figure 33 - Straight stone lintel on cottage

Spaces

The **forecourt** area outside the shops is central to the village. It contains the main bus stop and is a regular meeting place. The shops fronting onto the paved area feature planted tubs and the general store has a wide range of plants, shrubs and produce displayed externally which contributes to the impression of a vibrant, busy shopping area.

The **churchyard** is a small patch of tranquillity in the centre of the village. In contrast to the area to the front of the church, which is well maintained and manicured, the area to the rear has been managed so as to allow several native species of plants to flourish and this gives the area a truly rural feel. The Churchyard features mature yew and silver birch trees and two listed tombs to the Watson family of Newton.

The **car park** next to the Church serves a valuable function in allowing residents and visitors to park off the road, thus reducing congestion in a very busy part of the village. The car park stands behind an interesting curved brick wall which was originally part of the boundary of the Manor. The surface of the car park is compacted but not tarmacked - which adds to the rural feel and the large trees in the car park and the adjacent pocket park soften the effect of this utilitarian area. The appearance of this area is marred by the conspicuous location of recycling bins. This useful facility would be greatly improved by reducing the number of bins (omitting those for which there is a doorstep collection) and locating the remaining bins more discreetly behind the enclosing wall.



Figure 34 - The Pocket Park on the Manor Estate has an ecological grading G+

The **pocket park** has been formed on what was originally part of the Manor House land. The area has been managed so as to allow the many mature trees and plants to thrive, and the meandering path and benches provide a place where residents can sit and contemplate their surroundings.

An important feature of the junctions in the village introducing space and street planting are the **triangles**, locally known as "God Cakes". The largest of these is at the junction of Lilbourne Road and Hillmorton Lane outside The Old Hall. It contains three mature trees, a horse chestnut and two limes, and is complemented by the wide verges on three sides. There is a paddock to the north and an open aspect across the fields to the east, where the village pond was located until the 1950s.

A small triangle is to be found a little further along Hillmorton Lane at its junction with South Road. Here one mature horse chestnut tree graces the triangle, which is complemented by a small group of houses and bungalow which are all set well back from the road and mature pine trees at Holly Tree Lodge.

The triangle at the end of North Road, at its junction with Main Street/Rugby Road is a focal point of the village. Situated just outside the school, it is actually two grassed areas with a small driving area between. The garden on the triangle itself has for 35 years been maintained by Clifton upon Dunsmore Women's Institute and is a joy to see. Opposite the triangle stands the Millennium Stone, with its distinctive metal plaque depicting aspects of Clifton upon Dunsmore's history, this is itself surrounded by a garden that is maintained by

the Garden Club. The wide verge between the road and the houses makes this a pleasant place to sit and a key feature of the village. Opposite the Millennium stone stands a brick-built bus shelter that blends well with the style of the school buildings and opposite this, outside the school, is another triangular area, this time forming the junction between Station Road and Rugby Road. This triangle then runs on to form the wide grass verge to the north of Rugby Road where a semi-mature horse chestnut has been planted.

The last of these feature triangles is at the Newton Road end of North Road; it has a cobbled border and was recently re-planted with a sycamore tree to maintain the imagery of rural roads in a rural village setting.

Finally, the **Lion Footpath** running between Lilbourne Road and South Road is used as a conservation footpath with a variety of trees and shrubs supporting a varied population of insects and birds

These open spaces are a key feature of our village and should be preserved and maintained.

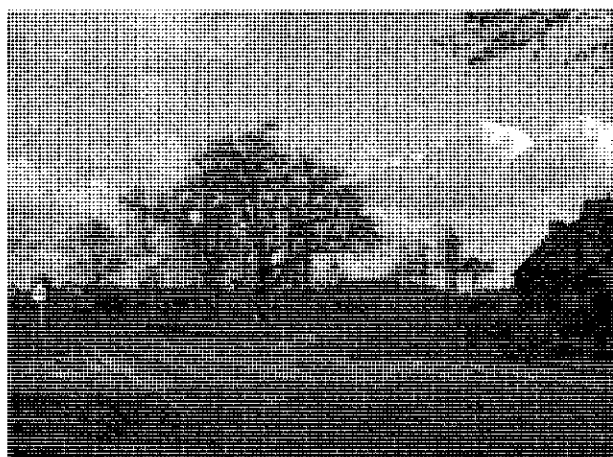


Figure 35 - Triangle at junction of Lilbourne Road and Hillmorton Lane, with horse chestnut and limes



Figure 36 - Triangle at junction of Hillmorton Lane and South Road



**Figure 37 - Triangle at Junction of North Road and Main Street
(this is actually two separate islands)**

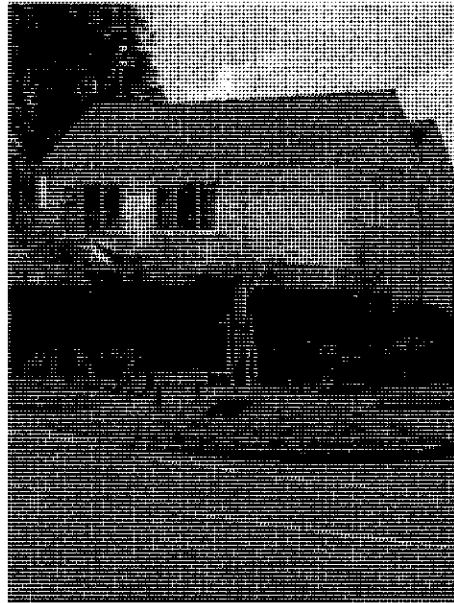


Figure 38 - Small triangle at junction of North Road and Newton Road, with newly planted replacement tree

Trees

These help the village carry the feeling of time, with a large number of very mature trees of various species throughout the village envelope. The most common tree types present are native oak, ash, hawthorn, blackthorn and elderberry along hedgerows and in spinneys to the village margins. Within the village are found many large beech trees, especially to the former Manor estate. Oak and lime are the main large street trees with horse chestnuts on three of the green triangles. Other trees found in the village include poplar, sweet chestnut, a variety of evergreens and smaller decorative trees such as maples, birch and cherry. They provide a green environment in the summer months and combined with those planted over the years provide foliage at all levels, offering graduated canopies when looking into the village and also when inside the village looking out.

There are several important groups of trees;

- Manor Estate
- Churchyard
- Clifton Manor gardens

Village Car Park/ Pocket Park
Avon Cottages Rugby Road and South Road
The Beeches

And there are many individual trees of high amenity value dispersed through the village. There are a large number of vantage points in Clifton upon Dunsmore where one can obtain views through and beyond the village, with trees improving the vista, drawing the eye, and conveying a pervading feeling of space and the countryside beyond. The various islands around the village – all of which are planted with trees - have already been identified as of huge importance to residents.

It is vital to retain the variety of species of trees, paying particular attention to the husbandry of existing trees and the use of indigenous species when re-planting.

Street Furniture

Modern furniture is seen as detracting from the sense of history that the core of the village offers. When additions or changes are made, there is a feeling that road signage such as street names should match the older signage and items such as litter bins should be replaced with less obtrusive versions.



Figure 39 - Red telephone box outside the Bull Inn and front boundary wall to Avon Cottages are important features in the village centre

Clifton upon Dunsmore has retained its traditional red telephone box outside the Bull Inn. This should be preserved.

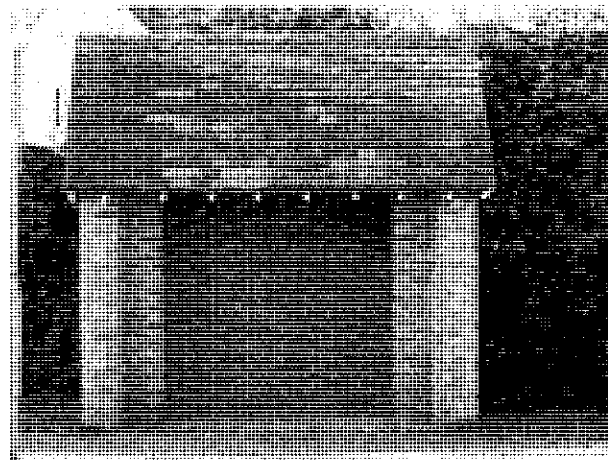


Figure 40 – The new bus shelter opposite the school reflects the style of the school buildings and fits in well, unlike the bus shelter by the shops

Boundary treatments

In the village centre many houses have no front gardens, with front doors opening directly onto the street, particularly the terraces in Church Street and Lilbourne Road. Most larger and more modern properties are set back from the road. The boundary treatments include a low post and chain fence in front of The Old Hall; the distinctive battered buttresses to the single storey building at the front of The Heath; the high curving brick wall in front of Clifton Manor; the solid low brick wall with substantial sloped blue brick copings in front of Avon Cottages and the high evergreen hedges in front of modern detached houses in Main Street. Generally the boundary treatments in this area are of brick, softened with planting.

A Personal View

Walking the dog along to post letters or to pop into the village shop is a pleasure and hearing the bells ringing or chiming the hour is a treat. I always check the time on the clock and often wish I had the time to sit on the bench outside the Church and enjoy the Churchyard flowers and tranquillity.

All that the village needs is to be found around the Church. We are lucky still to have a Post Office and a village shop and can cater for most of our immediate needs. The much used Townsend Memorial Hall is directly opposite the Church with The Bull close by for a quick drink after a meeting in the Hall.

Walking back towards the eastern end of the village provides wonderful views of open fields with the chestnut tree on the grassy triangle providing tangible evidence that open countryside is close by. The bench at the top of Buckwell Lane is often used by our village dog walkers to rest upon during the summer months. There they can enjoy a touch of peace during the middle of the day before the evening traffic rush hour begins again.

Faith Matthews, The Old Hall, Lilbourne Road



Figure 41 – Church Street. New build homes can sit in harmony with their surroundings if careful thought is given to scale, design and materials used

Design Guidelines – Village Centre

- Respect the scale and informal line of existing buildings.
- Extensions should use materials to match the original house with similar roof pitch and window design. The scale should be subservient to the original building.
- It is recommended that new housing should feature chimneys, plain clay tile or slated gabled roofs with bargeboards, red facing brick to match existing, with corbelled eaves, multi-paned windows and timber doors.
- Preserve original building features.
- Preserve green spaces & replace trees with similar species as and when necessary to maintain a good stock.
- Where new property boundary enclosures affect the street scene, these should reflect the historical variety of brick walls, hedges and low picket style fences.
- When replacing windows or doors replicate the original design in consultation with the Conservation Officer at Rugby Borough Council
- All new street furniture to be in a consistent and traditional style and street lighting adapted to minimise upward spillage of light.
- When shop fronts are altered, consider the use of traditional colours and lettering; flat, retractable awnings and external display of goods where a forecourt is available and it does not conflict with pedestrian traffic.
- Re-instate original features that have been lost by reproducing from historical evidence.
- Signage clutter should be removed, minimising the number of posts by fixing road names to buildings where possible.
- Where front porches are added care should be taken to complement the design of the existing building.

(B) Inter-War & Post-War Expansion (1920 - 1950s)

Incorporating Rugby Road, North Road, South Road (S), Shuttleworth Road and Station Road.

Main features:

- Low density brick built housing
- Mature landscaping
- Hedged & fenced boundaries
- Grass verges beside roads

Description

During this period Clifton upon Dunsmore had to play its part in meeting the demand for housing for those returning from war and as the country's population grew. This resulted in Clifton upon Dunsmore's largest phase of expansion when the village trebled in size with the construction of over 100 private houses and 50 Council properties to the north, south and west of the village centre. The houses built along the south side of Rugby Road link the main village with Vicarage Hill, reinforcing this connection as Rugby has expanded from the south-west.

The housing in this period was built on generous plots along roads bordered by broad grass verges, with trees planted along South Road. Where street trees are not present the ample front gardens have been used to provide trees and shrubs, ensuring a predominantly green vista. The houses are of traditional dark red brick-built construction, predominantly two-storey with plain tiled roofs. 1930s hipped roofs in Rugby Road and Station Road give way to 1950s double pitched roofs with gable ends in Shuttleworth Road and South Road south. The detailing is simple – soldier course lintels and stepped corbelling to roof verges and eaves.

Boundaries are clearly defined by walls, fences or hedges and the houses are set back from the road, comfortably spaced, and often allowing glimpses of the countryside beyond. These glimpses give way to full panoramas from the village's hilltop, as you turn the corner in North Road, across the paddock and from Hillmorton Footpath and Allan's Drive along South Road, all the way along Rugby Road; and from the bottom section of Station Road. The views transform the character of these roads from a suburban feel to genuinely rural, forming a natural link with the surrounding countryside.



Figure 42 - View along North Road showing the wide vista with a green verge, mature planting and houses set back from the road



Figure 43 - View along South Road showing verges, street planting and typical housing



Figure 44 - Looking towards Brownsover across the fields from North Road, an important meeting point between the village and the countryside

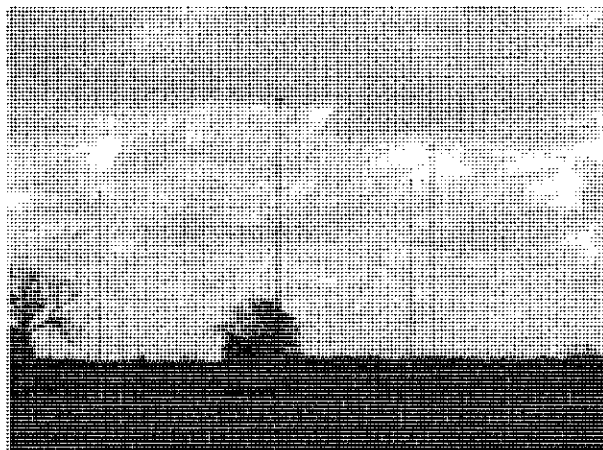


Figure 45 - View from Hillmorton Lane footpath of Rugby Radio masts, a major landmark, eight of which were demolished during the production of this Village Design Statement

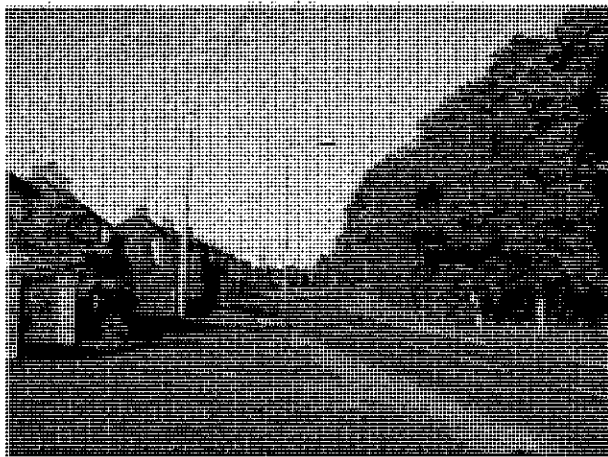


Figure 46 - Rugby Road has wide grass verges to the north and south. The road winds adjacent to mature trees, creating a pleasant gateway to the village

Detailing & Materials

Roofs

There is a broad range of tile types, with ribbed concrete tiles being used as well as the traditional slate and plain clay tiles. Roof forms vary with hipped 1930s semi-detached houses along Rugby Road and Station Road, gabled 1950s semis and terraces in South Road and Shuttleworth Road and a mixture of styles including dormered bungalows along North Road. This has created variety in height, shape and texture in the streetscape.

Chimneys

Simple brick built stacks with corbelled tops punctuate the roofscape.

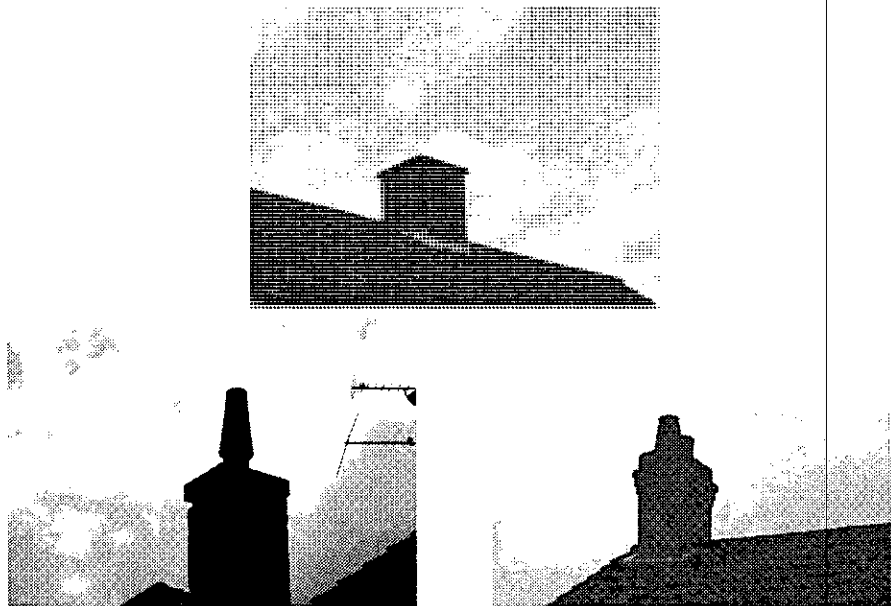


Figure 47 - Roof details

Eaves

Predominantly plain with a wooden fascia board to which rainwater goods in either cast iron or more commonly plastic have been fixed.



Figure 48 - Eaves details

Walls

Mainly brick-faced, in a range of reddish colours. Some houses are pebble-dashed or smooth rendered but all have elements of plain brickwork visible. The brickwork is bonded in stretcher bond as houses of this period were usually cavity wall built. Many of these houses carry some form of porch or storm-porch.

Doors

A broad mix of styles, with plain and lighted doors in wood and uPVC.

Bargeboards

In the main bargeboards were omitted during this period with mortared tiles bonded to the walls. Where there are bargeboards they are very plain and purely functional.

Windows

Originally a mixture of large metal and timber framed windows often with large two storey bay windows. Most windows have been replaced with aluminium or uPVC double glazing. The most attractive properties have maintained the vertical emphasis of the glazing with tall side hung casement openings and square or narrow, rather than wide ventilators.

Spaces

This period saw rapid development of the village following existing boundaries (which still form the village edge), with the Southern side of the village providing a mix of social housing and private dwellings, in the form of detached, semi-detached and terraces.

Much of the North side of the village has developed along historic plots, which have then been sub-divided and built in much lower density than the rest of the village, providing larger houses and gardens. The houses are built well back into their plots, leaving wide green verges on some of the roadsides.

Mature and green with a mix of hard and soft landscaping and wide rural roadways and vistas through the spaces between the houses. These open spaces are a key feature of our village and should be preserved and maintained.



Figure 49 - View across the playing field

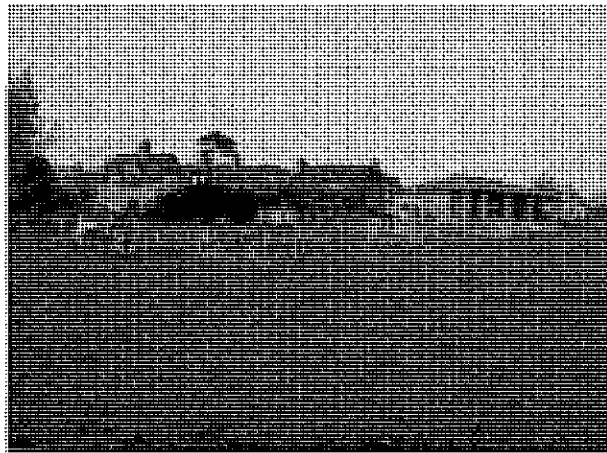


Figure 50 – Recently installed children's play area and refurbished pavilion

The playing field is the largest and probably the most important open space in Clifton upon Dunsmore. Originally farmland it was bought by Warwickshire County Council, Rugby District Council and Clifton upon Dunsmore Parish Council for the benefit of the village in 1955. Villagers also raised funds to pay for the land which was sold at a special rate by the local farmer on condition that it should remain as a local amenity. The area covers some 6.75 acres and boasts two tennis courts, one netball/tennis court, two football pitches, a basketball net, a pavilion that has undergone significant rebuilding and extension over recent years, a newly-opened children's play area and now a skateboard park. The area has been enjoyed by generations of Clifton upon Dunsmore residents and provides a pleasant open space at the end of South Road/Shuttleworth Road and behind houses on Rugby Road.

Trees

Mature trees are an important feature throughout this area. In South Road the lime, oak and acer trees planted on wide grass verges are a key feature of the landscape. In North Road there is a large oak tree on the corner, which has grown around an iron gate on the corner, part of the original paddock fencing to the rear of The Elms, and a horse-chestnut beside the Elms Paddock. In both North road and Station Road trees have been planted in

the large front gardens, and in Rugby Road oak and ash are found along the hedgerow opposite the housing. The views across the playing field to the trees at its western perimeter provide a pleasing and open aspect to the area.

Street Furniture

Is in the main utilitarian rather than particularly attractive or a key feature. Original metal embossed street name signs still exist in many areas and where the supports for these are replaced the original signage should be re-used.

Boundary treatments

Boundary treatments are of key importance to the streetscape in this area. With properties set well back from the road and screened by mature planting it is the boundaries and front gardens that dominate the street scene.

Predominantly fenced or hedged, the boundaries add to the green appearance of the roads. Walls and railings are also present but tend to appear too hard edged. Most fences are post and rail with some palisades – defining the boundary without obscuring the garden behind. Hedges and planting along the boundaries between properties also help to reduce the visual impact of parking on drives.

Drives

The generous front gardens in this area invite their use for parking and a variety of drive treatments are present including tarmac, gravel, block paving and ribbed concrete. The most sympathetic material is gravel with its natural colours and texture and softer edge treatments.

A Personal View

We think that Clifton Playing Field could develop so that older children as well as younger children can enjoy it. We would like an adventure playground including the following items: zip wire, obstacle course, swings, monkey bars, roundabout, tyre swing and some swinging rope hammocks. We also think that the pavilion should be improved so that it can be used sensibly by sports clubs. At the moment it is in a bad state because of lack of security. A picnic area would be great for families to enjoy their free time. It could include benches and small tables and rubbish bins. To ensure the area is not vandalised you could install security cameras. These facilities could be paid for by fundraising activities such as a disco, raffle or funfair, or by getting people from the village to sponsor us. Parents could volunteer to be Leaders or Helpers and to encourage parents to come they could have free refreshments.

Children from Year 6, Clifton upon Dunsmore C of E Primary School



Figure 51 - This new-build garage and porch in Station Road shows that careful attention to detail can create an attractive building in harmony with its surroundings

Design Guidelines – 1920s - 1950s Expansion

- Avoid infilling of spaces between buildings by extending existing properties to the rear rather than the side
- Use hedging, simple post and rail or palisade fencing to define front boundaries. If brick walls are used they should have a low profile and match the colour and texture of the existing house
- Extensions should use materials to match the original house with similar roof pitch and window design. The scale should be subservient to the original building.
- Retain grassed verges and replace trees when they reach the end of their lives with similar species
- Retain open spaces of the playing field and the Shuttleworth Road green
- Retain original signage and other furniture where present
- Street lamps should be adapted to reduce upward light spillage
- Use natural materials such as gravel and brick for drives and screen parking areas with shrubs and hedges.

(C) 1960s Infill Development

Incorporating South Road (N), Allan's Lane, Allan's Close, Orwell Close and Whiley Close.

Main features:

- Lack of front boundary treatment
- Low density yellow stock brick & rendered housing
- Small scale ornamental planting

Description

The 1960s saw the beginning of a process of demolition of older run-down properties near the village centre and infilling with housing at a higher density. Today the preferred option would be to renovate existing properties but in those days everything new was good.

Home Farm and Goldville Kennels were demolished, although evidence still remains of a cob wall on the boundary between two properties on the northern side of South Road, running through to the rear of The Beeches. Where Home farm originally stood a mixture of detached and semi-detached bungalows and houses were built along South Road, Allan's Lane and Allan's Close. Instead of the dark red brick that predominates in the village, many houses were built with a yellow stock brick, similar to that used for detailing on the Clifton upon Dunsmore School buildings and throughout Rugby town centre. The walls also feature cream coloured panels of render which add to a clean, light appearance. Simple shallow rooflines, large metal-framed windows and open plan front boundaries are all typical of suburban housing of the 1960s but bear little relation to their village context.

The past forty years have seen the replacement of most windows and the addition of glazed porches but most importantly the maturing of some gardens. The lack of detail in the buildings makes their setting of key importance. Where care has been taken with planting, often with bright displays of annuals, a pleasing open environment is created. It is important to carefully consider landscape design to create a pleasing landscape-dominated, open-plan environment.



Figure 52 - Whiley Close featuring semi-detached bungalows with lawns to open plan front gardens

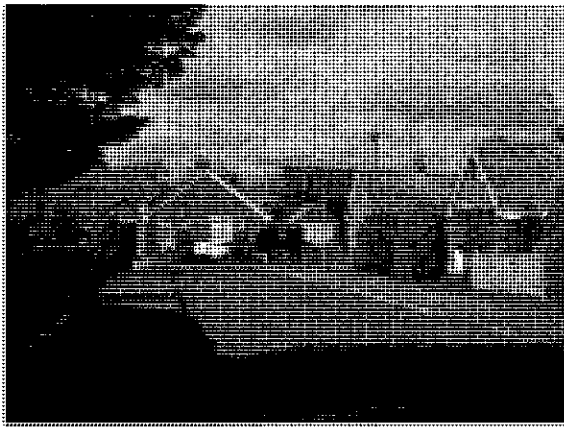


Figure 53 - Orwell Close featuring single-storey 1960's infill

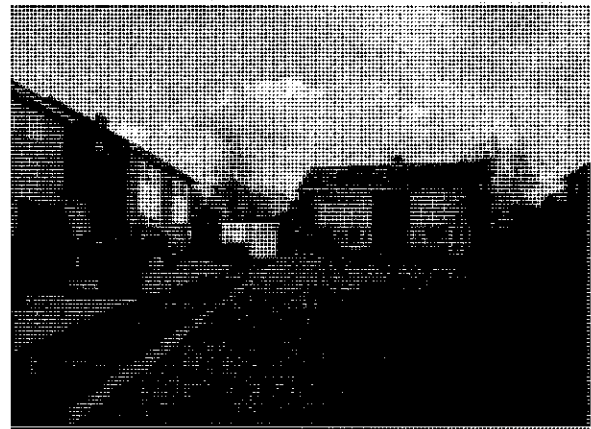


Figure 54 - Allan's Close featuring two-storey 1960's infill

Detailing & Materials

Roofs

Predominantly pitched and exclusively of ribbed concrete tiles with plain ridge tiles. A minority of the bungalows have had loft conversions carried out, typically with two windows up to the level of the ridge tiles and with flat roofs, the original tiles over the eaves remaining.

Chimneys

Small simple brick built stacks located centrally between semi-detached properties with very shallow corbelled tops

Eaves

Plain eaves with plastic rainwater goods, with the exception of the shops in Main Street, which have combined eaves and guttering in pre-cast concrete.

Walls

Brick built with different styles of pointing. Typically on the semi-detached houses the space between the ground floor and first floor windows will be rendered and on the bungalows the area between the door and the front window is rendered.



Figure 55 - Typical bungalows on South Road without boundary treatment

Doors and Windows

The original doors and windows have almost all been replaced with stained hardwood or white uPVC double glazed panelled units. In some cases porches and conservatories have been added at the same time as the window and door conversions have been carried out. Due to the nature of uPVC construction designs can be out of character with the buildings' original architectural style. Glazing styles vary from a single panel per light through multi-pane to pseudo leaded light. In most cases the sills are not obvious. Lintels are straight and plain.

Bargeboards

Plain, mainly wooden bargeboards usually set off from the wall. There are no bargeboards on the houses in Allan's Close, instead mortared verges bond the tiles to the brickwork.

Drives

Some of the original concrete and tarmac drives remain, although many now having been re-laid with block paving. Some of the properties have extended this to cover most of the front garden.

Spaces

The tarmacked footpath along South Road is bounded by grass verges of varying width on either side for most of its length. In some places the verge is not wide enough for trees to grow comfortably. There is no other amenity space provided in any of the 1960s developments except for the paved area in front of the shops.

Trees

The density of housing development in this period provides no opportunity for planting large street trees and gardens are not large enough to accommodate this type of planting, with the exception of South Road where a variety of large trees have been planted along the verges.



Figure 56 - Orwell Close - greatly enhanced by attractive planting, surrounding the preserved original gateway to Orwell House

Boundaries

Most properties of this era lack any significant boundary treatment and some have very little planting to front gardens. The street scene can be greatly enhanced by planting of hedges and other landscaping to front gardens, providing a softening of the setting of houses and drives.

Street Furniture

Generally functional, low key and inoffensive.

A Personal View

The farm on which I was born, Home Farm, was in the centre of the village with the farm buildings all around the house. In about 1948 we decided bringing the cows down the Lane, the noise of pigs waiting to be fed and certain farmyard smells were not in the best interests of the village so the farm was re-located and the old Home Farm House and all the buildings pulled down in 1962, making way for houses and shop units on Main Street and houses in Allan's Lane and Allan's Close. Looking back makes one sentimental but it was inevitable that the farm buildings were obsolete, the garden unmanageable and the house greatly in need of modernisation so the construction of pleasant medium sized houses and shop units to complement the existing shops was a plus for the village and the houses in Allan's Close were not as large as the others so catered for young families and newly weds who wanted to live in Clifton. Today the centre of the village is still where most things go on, but at a much faster pace than in wartime days and the 50s and 60s.

Ian Allan, Home Farm

Design Guidelines – 1960s Infill Development

- Use windows and materials consistent with original design of the building
- Use hedges to define boundaries and planting to soften and enhance front gardens and screen parking areas.
- Maintain the existing front building line, scale, form, height, roof form and window design when constructing new properties.
- Extensions should use materials to match the original house with similar roof pitch and window design. The scale should be subservient to the original building.

(D) The Manor Estate (1970s)

Incorporating Robertson Close and Hadfield Close.

Main features:

- Consistency of design and materials
- Large mature trees
- Pedestrian only access to fronts of properties

Description

In the 1970s the building of the Manor Estate represented a major development within the village adding 54 new houses and 8 flats in the grounds of Clifton Manor.

The housing is laid out in terraces of 6 – 10 properties with rear access via Robertson Close and Hadfield Close. The roads wind between mature trees preserved from the Manor parkland, with several landscaped common parking areas. Gates in the 6 ft high close boarded rear boundary fences provide access to off street parking between grassed or landscaped verges.



Figure 57 - Close boarded fences and wide verges are a feature of the Manor Estate

Access to house fronts is exclusively pedestrian enabling houses to the north and east of the estate to have direct views over open countryside. The two closes are linked by a green with large trees providing a pleasant prospect for houses in the centre of the estate. Front gardens are "open" without boundary treatments except for some simple post and rail fencing to protect corner properties.



Figure 58 - Pedestrianised front entrances help to create a truly rural feel on the Manor Estate

The houses themselves are of traditional brick built construction in a simple modern style with plain concrete tiled roofs and dark brown framed windows providing discreet, well ordered consistency. Interest is provided by the combination of complementary single-storey additions, stepped facades, the slope of the land and periodic use of dormers to house fronts. The simple consistency and natural materials of the houses enables the quality of the natural environment to take precedence.

The huge oak and beech trees of the former Manor grounds dominate the estate towering above the roof tops. To the northern edge of the estate the most common local tree, the Ash, takes over. Other species to be found around the estate include bird cherry, hawthorn, blackthorn, horse chestnut, sweet chestnut and elder.

Although not large, the houses are more generously proportioned than many more modern properties, and are well laid out. Some householders have replaced windows and, in the main, this has been tastefully done so as to match with the original wooden frames. Robertson Close is part of the centre of the village, being accessed from close to the Church, whereas Hadfield Close has a more rural feel, being accessed off Buckwell Lane.

Detailing & Materials

Roofs

Roofs have medium pitch and the buildings have been designed so as to avoid continuous straight lines. There are staggers in the lines of the buildings and differing roof heights. Plain concrete tiles have been used throughout the development. Some properties have dormer-style first floor windows which creates a pleasing break in the façade.



Figure 59 - Staggering the building line, changing the roof level and inserting dormer windows add variety to a uniform style of building

Gable Ends

Gable ends are plain with no overhang. The finish is in plain tile-to-brick and bargeboards are not used

Walls

Red textured-facing brick is used throughout the estate. On some properties this has been broken up by the use of dark wooden boarding, giving a more rustic feel to the development.

Doors

Mainly wooden lighted doors although some householders have replaced with Georgian-style doors. As these do not face directly onto the front of the property, being set at a 90° angle, the mix of doors used does not significantly affect the overall appearance of the estate.

Fascia Boards

A key feature of the properties is the use of dark wood products throughout, and this is reflected in the deep fascia boards, to which plastic rainwater goods are attached.

Windows

Mainly square in design with a single top hung casement opening, although all properties have full-length windows to the sitting rooms, which may be at the front or rear of the property. This creates a pleasant mix of styles, particularly overlooking the green at the centre of the development. All original windows and most replacement ones are in dark wood or wood-effect so as to blend with the original.

Spaces

The layout of the estate reflects the plan of the original Manor paddocks and the wide grass verges and open aspects to be seen through the gaps between groups of houses are a key feature of the estate. The green between Robertson and Hadfield Closes and the open area surrounding the flats and the entrance to the Manor are a key feature of the estate. Hadfield Close is more rural, being surrounded on two sides by open countryside, with views across the fields, and accessed via Buckwell Lane, a single-track road. Robertson Close, on the other hand, sits closer to the centre of the village, and the pocket

park (see Figure 62 - Entrance to Robertson Close) creates an interesting and necessary buffer between the estate and the older part of the village.



Figure 60 - View across the green beneath one of the large beech trees



Figure 61 - Entrance to Hadfield Close showing the spinney in Buckwell Lane



Figure 62 - Entrance to Robertson Close behind a screen of trees

These open spaces are a key feature of our village and should be preserved and maintained.

Boundaries

The fronts of all properties, which face away from the road, are open plan and, in the main, are laid to lawn with shrubs and pleasant displays of annual planting. The approach to the properties is via the rear entrance, and these boundaries are formed by high close-boarded fencing. Whilst this could be oppressive, the wide grass verges and open views out of the estate and across the green provide a welcome break in this street scene.

Trees

A prominent feature of the Manor Estate is the proliferation of a wide variety of trees and mature shrubs, including many very large trees. Many of the trees on the estate are protected by tree preservation orders and this is entirely necessary to maintain the rural aspect of the estate.

Street Furniture

Tends to be functional rather than decorative. Recently a proliferation of street signs has been erected showing where the two closes separate and whilst these may be necessary for delivery drivers they do nothing to enhance the environment.

A Personal View

I remember riding ponies on the Manor Paddocks as a child. At that time the land was part of the original parkland belonging to Clifton Manor, which had been fenced off to make three smaller paddocks.

The existing housing estate has been laid out in line with those three paddocks (with the green pretty much taking the place of the middle one). We moved here when our children were very young and a key advantage was the benefit of having plenty of space for them to play safely away from cars - without the hassle of a large garden to maintain. It is still a real pleasure to see young children riding their bikes and pedal cars around the footpaths at the front of the houses, well away from cars or other dangers. This is a pleasant, quiet, little-known backwater in Clifton.

Leigh Hunt, Hadfield Close

Design Guidelines – Manor Estate

- Retain open plan to fronts and sides of properties
- Common landscaped areas to be preserved
- Extensions should use materials to match the original house with similar roof pitch and window design. The scale should be subservient to the original building.
- Trees to be replaced with similar species as and when necessary to maintain a good stock.
- Ensure that rear fences are kept in line with original to maintain grass verges essential to softening the roadsides to the rear of properties.
- Replacement windows, fascia boards and cladding etc to be sympathetic to the original dark stained timber style that prevails throughout the estate
- Where fencing is used to the fronts and ends of terraces low dark stained timber post and rail fences should be used
- Garage doors to be dark stained timber or painted to blend with the colour of dark stained fencing

(E) Vicarage Hill

Incorporating Vicarage Hill, Avon Street and Newall Close.

Main features:

- Victorian terraced housing
- Views towards Rugby over open aspect

Description

The Rev. Newall, Vicar of Clifton upon Dunsmore, chose the hilltop location where Newall Close now stands for his house, enabling his sons to attend Rugby School. The vicarage was demolished in the 1960s to make way for Newall Close in its former grounds. The main feature of Vicarage Hill immediately adjacent to the Oxford Canal and close to the road is the terrace of Victorian cottages stepping up the side of the steep hill. Two double-fronted villas at the bottom of the hill feature stone-dressed bays (now painted) and wrought iron railings at first floor. These are followed by the cottages on very narrow plots but with a wealth of detail such as gothic arched windows and flint infill panels with red brick dressings.

The terrace is interrupted by the entrance to Avon Street, an unadopted road with a row of similar small cottages along one side. On the corner of Avon Street is the Old Shop that once served this small community but has now been converted into a private house. On the opposite corner a small triangular oriel window has been set into the gable end wall – a modern feature that complements the Victorian gothic of neighbouring properties.

There have of course been many other alterations over the past 150 years adding emphasis to the individual properties and breaking the integrity of the terrace. However the overall appearance remains pleasing and the properties enjoy fine views to the rear across the privately-owned allotments, the canal and Clifton Brook to the golf course beyond. This “green buffer” is an important element in Clifton upon Dunsmore retaining a distinct identity separated from its large and growing neighbour, Rugby.



Figure 63 - Double-fronted villas near the canal on Vicarage Hill with attractive features of wrought iron balcony, supported by bays and timber brackets and corbelled eaves



Figure 64 - Featuring an original timber window in a brick bay in the foreground and painted stone dressings to the end of terrace

Opposite the cottages on Vicarage Hill are semi-detached houses mostly set back on their own service road beyond a tree planted verge, which minimises their visual impact. These properties are essentially similar in style to those in the inter-war and post-war expansion area. At the top of Vicarage Hill on the left are the newest houses in the village. Three large detached properties set well back from and below the level of the road. Their style with large plain clay tiled roofs, dormers and red brick is consistent with their neighbours on the north side of the road.

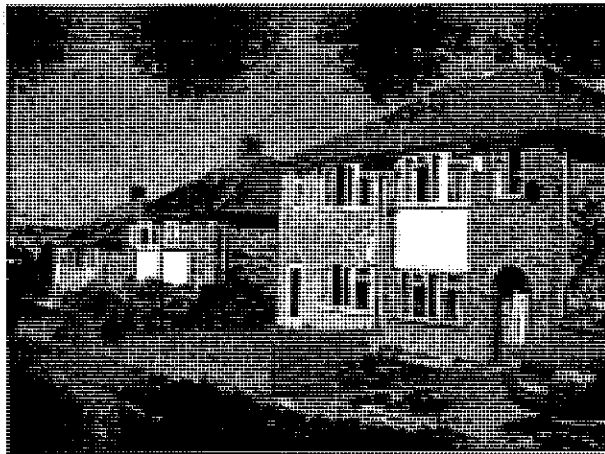


Figure 65 - North side of Vicarage Hill illustrating 1950's semi-detached housing with hipped roofs and shallow bays



Figure 66 - Attractive modern use of traditional building forms, detailing and materials

Situated towards the village centre across a brick railway bridge that spans the disused railway line lies Newall Close. This is accessed off Rugby Road and once again is situated behind a wide grassed area with small trees. The houses match the style of other 1960s infill, but with integral garages. Some properties have converted the garage to living space and many have well landscaped front gardens.

The early properties on Vicarage Hill reflect the rapid development of the railways and local industry. A gazetteer of 100 years ago shows that the occupiers were either workers on the railway, mainly those involved in construction and maintenance, and employees of The British Thompson Houston Company. The smaller houses to the right of Vicarage Hill (towards the village) are traditional early Victorian two up two down properties with two exceptions where they are double-fronted, indicating a wealthier owner. The houses on Avon Street are all two up two down with a smaller frontage, indicative of artisans-type Victorian housing. The style and detail of some of these properties on both roads would suggest they were built by the same builder.



Figure 67 - View along Avon Street, with a mixture of porches and façade treatments



Figure 68 - Newall Close illustrating 1960's semi-detached houses with integral garages

Detailing & Materials

Roofs

The roofs of the older properties are principally of slate; it is important where roofs are restored or replaced that similar materials are used. Many of the properties have decorated ridge tiles and it is interesting to note that the three new houses built to the north of Vicarage Hill have followed this tradition very successfully.

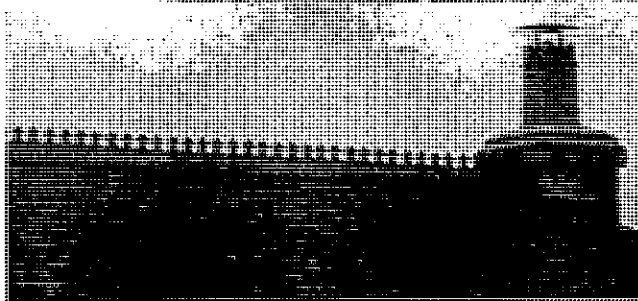


Figure 69 - Decorative ridge tiles to modern plain clay tiled roof

Chimneys

Simple functional chimneys with corbelled tops generally accommodating four flues punctuate the junctions between terraced properties.

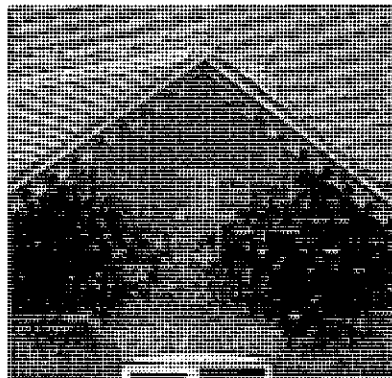


Figure 70 - New houses can reflect traditional details

Eaves

The new houses have also followed another design feature of the early Victorian cottages in that the brick course below the eaves has been set at right angles to give a decorative "saw tooth" effect. This demonstrates how traditional architectural features can easily be incorporated into new build without the pastiche of styles that mass builders incorporate to give 'kerb appeal'.

Walls

Some cottages on the east side of Vicarage Hill show very individual expression by the builder, incorporating brick dressings with cobbled stone infill to provide a unique decorative effect not seen elsewhere in the village. Other walls display a variety of traditional brick bonding patterns.

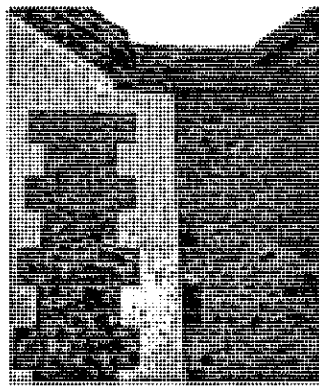


Figure 71 – Unusual features can add interest

Two double fronted, and one single fronted cottage forming a short row have interesting faux balconies in wrought iron. It is pleasing to see that they have all been retained and restored. Correctly applied this type of feature could easily be used to enhance a new build.

Doors

Most of the cottages have long since lost their original doors and windows. In Avon Street a variety of porches has been added to the terraces. The narrow frontages of these properties makes the porches have a strong impact on the street scene so that their design needs to be carefully considered.

Windows

The area has examples of carefully thought out replacement windows and, indeed, some of the cottages in Avon Street retain what appear to be their original frames. Owners should give careful consideration to their product selection when considering replacement windows. Units that are chosen to reflect the type of building and the adjoining streetscape will certainly enhance the value of their property over standard replacements. Where replacements are being considered, thought should be given to authentic detailing. Generally uPVC is not an appropriate substitute since the quality of traditional windows cannot be reproduced in plastic equivalents.

Spaces

Vicarage Hill is a principal thoroughfare into the village; it is particularly narrow where the road crosses the former railway line. However a cul-de-sac of houses on the north side built in the 1950's is set back behind a wide green verge with trees. This provides a welcome buffer and relief from the tarmac of the carriageway. Setting properties back from the road creates open spaces which although quite small remove the urban effect that a row of traditional semi detached houses might otherwise present. The space also benefits the residents by withdrawing them from traffic on the road and benefits the road users and contributes to road safety by presenting a less interrupted field of vision.

Trees

The small ornamental trees and large oak tree on the wide verge opposite the terraced houses and in front of Newall Close provide an attractive green screen adjacent to the road,

Boundaries

On Vicarage Hill the majority of houses have brick walls to their small front yards. In Newall Close front gardens are open plan with large paved drives dominating the house fronts. Some Avon Street properties have small flower beds in front, but in the main these properties lie directly alongside the road itself.

Street Furniture

Street furniture is low-key and functional

A Personal View

I have lived here since 1985 and have on the whole enjoyed living here. The house is more than big enough for me and it is not far to walk to the bus stop. I find the view from my front window quite attractive; it is a small field and from time to time one sees cattle and sheep grazing in it. The houses on Newall Close are far enough away that I do not feel overlooked. So far as the view from the back is concerned, I feel very fortunate. One overlooks the canal, a small holding and then the Golf Course. It does feel quite countrified. How long this view will remain goodness only knows, as I understand a road is planned to go through the small holding. This would make it a lot noisier of course. At present horses are kept in the small holding. I am convinced, if it wasn't for the Golf Course we would have been absorbed by Rugby long ago, I hope the Golf Course remains so that Clifton will retain a separate identity from Rugby.

David Swan, Avon Street

Design Guidelines – Vicarage Hill

- East of Vicarage Hill as for Village Centre (See page 41)
- Extensions should use materials to match the original house with similar roof pitch and window design. The scale should be subservient to the original building.
- West of Vicarage Hill as for 1920s – 1950s expansion (See page 49)
- Newall Close as for 1960s Infill (see page 54)

ANNEXE A – PREPARING YOUR OWN ASSESSMENT

When you are thinking about carrying out any improvements to your property that affect its external appearance it is suggested that this assessment procedure could be followed in formulating a sensitive scheme:

a) Look at your house

Stand back and look at the front of your house. Consider the scale, form and materials used and each of the elements referred to in "Detailing & Materials". Note any attractive or original features you would like to preserve and anything that doesn't look right and could be improved. Then follow the same procedure to the rear and sides of the property as appropriate. It may help to take photographs.

b) Look at the setting of your house

How does your house relate to its neighbours, landscaping and the view along the road? Imagine the impact of the work you are considering on the character of the street. Are there any original features in neighbouring properties that could be re-instated in your own?

c) Look at the Design Guidelines

Consider whether the work you are thinking of is consistent with the "Design Guidelines" for your area or whether you need to make any changes to your proposals to better compliment the positive features you have identified in your property.

d) Review your revised proposals

Think again about the impact of your revised proposals on the character of your property and their consistency with the Design Guidelines for your area.

e) Consult an architect

Do they agree with your proposals for improving your property? Do they have any better ideas of how to achieve your objective of home improvements sensitive to the character and setting of your house?

f) Consult Rugby Borough Council

Always remember to consult Rugby Borough Council regarding the need for Planning Permission and Building Regulations Approval when considering any alterations to your property, especially if it lies within the Conservation Area.

ANNEXE B - IMPORTANT BUILDINGS

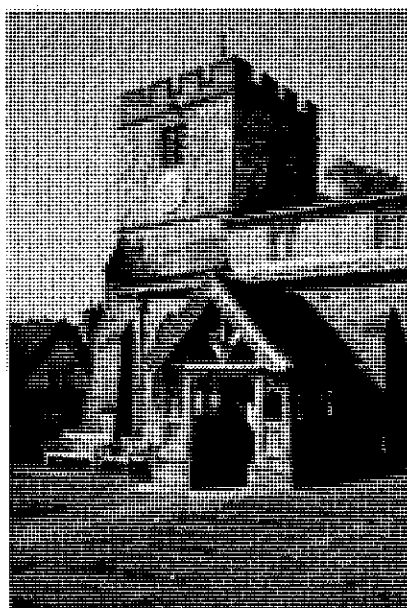


Figure 72 - St. Mary's Church

1. **St Mary's Church** (see front cover for photo) is Grade II* listed and the most prominent individual building in the village. The buttressed stone tower at the west end almost blocks the pavement in Church Street, whilst from Lilbourne Road in the south the church is set back within its neat green churchyard. To the north the churchyard is more wild with maintenance reduced to create a suitable habitat for local wildlife. The churchyard also features a prominent focal point of the village, the Townsend Family Memorial Cross. This reads "Erected in loving memory Alice Mary Townsend in the 60th year of Queen Victoria's reign 1897". It is believed that this feature is partly constructed from stones belonging to the old village cross which stood centrally as a focal point in the centre of the village. There are also two listed chest tombs in sandstone and slate. The present building stands on the site of the original 11th century wooden church. The basis of the present sandstone building was first constructed in the 13th century and many additions have been made to it since then including a major Victorian restoration. The church features battlemented parapets to the tower and nave, a mixture of Decorated Style tracery to the aisle windows and lancets to the chancel, leaded roofs (except for the chancel which is of plain clay tile) and a distinctive oak porch with elaborately carved bargeboard. Most of the church is stone faced with render to the north aisle and nave clerestory. The refurbished weathervane and newly painted clock were part of the Millennium project, and the newly donated seat shows the regard in which local residents hold this tranquil area. St. Mary's was always an important church in the area. During Norman times it was the mother church for Rugby and when a church was finally established in Rugby town, St. Mary's provided the chaplain.



Figure 73 - Clifton upon Dunsmore (C of E) Primary School, showing new extension to left of picture

2. **Clifton upon Dunsmore (Church of England) Primary School** stands out at the southern end of Main Street. The School was built in 1850 in typical Victorian gothic style on land donated by Reverend Moor facing what was then called Turnpike Road. In the 1990s the school was saved from closure as part of the rationalisation of primary education in Warwickshire and was instead expanded. The new hall matches the polychromatic brickwork, steep pitched roofs and fenestration of the original school. The design of the portable classrooms could be improved if the opportunity arises.

3. The **Cob barn** opposite the school in North Road, with its mud walls and tin roof over original thatch, is Grade II listed. It retains the original early 18th century rear wall with much of the original roof structure surviving. It is possibly the oldest building in the village and is the only visible mud building still in existence.



Figure 74 - Clifton Manor as seen from the original driveway that now runs through the Manor Estate

4. **Clifton Manor** set back behind a high wall and surrounded by beech trees is also a Grade II listed building. Once a farmhouse, it was much altered in the 18th century into the Queen Anne style and became the Manor House and residence of the Townsend family in 1882. It is an imposing three storey property incorporating a large attic floor with gabled dormers added in the 20th century. Other features include 12 pane horned sash windows, moulded timber eaves and a reed pilaster front door case with pediment over. The new Manor House was substantially altered and extended by Thomas Sutton Townsend in the 1890s. The hallway added in 1894 is panelled in oak that once formed the box pews of St.

Mary's church. The features of this building are replicated elsewhere in the area, notably the brickwork colour and bargeboards style.



Figure 75 - The Old Hall

5. **The Old Hall** was originally three cottages built in the 17th century and converted into one house in 1920. The scale of these cottages continues in more recent properties along Lilbourne Road. The crenulated and perforated barge boards to the gables match the decorative ridge tiles and are reflected elsewhere in the village. Although it was in a very poor state of repair prior to the Second World War, The Old Hall is today a fine timber framed house with brick infill and some modern extensions. The front door is original timber plank with iron studs set in an authentic looking 20th century brick and timber porch.



Figure 76 - Sunnyside - the only remaining thatched cottage in Clifton upon Dunsmore

6. **Sunnyside** is Grade II listed and the only remaining thatched building in Clifton upon Dunsmore. One pair of the original timber cruck-frame remains, probably dating back to the same period as The Old Hall, and 7 Main Street. Each of these houses is a reminder of a common form of building prior to 18th century reconstruction. The property has been carefully extended in single storey construction to the rear to minimise the visual impact from the road. The small bricks that are a feature of this property are also found on other old buildings in the village.



Figure 77 - Townsend Memorial Hall and cottages

7. **Townsend Memorial Hall and cottages** form a distinctive family of buildings together with the Post Office. The buildings with tiled first floors and "eyebrow" eaves to the cottages enclose the cottage gardens on three sides forming a private green space at the heart of the village. Thomas Sutton Townsend bought the Red Lion Inn and the cottages beside it in January 1885. He proposed to demolish the inn, build the hall and convert three of the cottages at the same time to form the "Clifton and Newton Working Men's Club". The hall was completed in September 1885 and provided a smoking and reading room, library, kitchen and caretaker's cottage. In 1922 Mrs Roscoe, daughter of Mr. Townsend, presented the hall and the caretaker's cottage to the village in memory of Captain T. A. Townsend who was killed in that year. It was renamed the "Townsend Memorial Hall".



Figure 78 - Clifton upon Dunsmore is fortunate in retaining its Post Office

8. **The Post Office** in Main Street is a focal point of the village. A recent survey showed that over 50% of residents use the Post Office or newsagents weekly. The building reflects the features found on the Townsend Memorial Hall and cottages, with hanging tiles at first floor level and a steeply pitched roof.



Figure 79 - Bakehouse Cottage

9. **Bakehouse Cottage** is of particular interest featuring an original ornate cast iron window and two original timber casement windows at first floor in the curved façade and a number of timber board doors with fine ironmongery. Local builders used to “sign their work” and in the brickwork on the façade the initials “EB” can be seen. It was owned throughout the 19th century by the Hewitts who were local millers. In the mid 19th century a former employee of Hewitts, one Thomas Manders, was the baker there producing bread and cakes using only Hewitts’ flour. The distinctive original first floor window contrasts sharply with the newer replacement at ground floor level. The curved wall is a typical feature of Clifton upon Dunsmore.



Figure 80 - The Elms, now a nursing home

10. **The Elms** was originally a farmhouse with paddocks at the back. It was altered in the Georgian period to become an imposing building in Italianate style and in complete contrast to its neighbours. The house stands out along Main Street with three storey painted render walls and large sash windows beneath a shallow pitched hipped roof with projecting eaves. The main roof and front bay eaves feature is supported by elegant shallow ogee shaped timber brackets. In keeping with its unique appearance in the village a Victorian gothic style timber porch has recently been added.



Figure 81 - The Bull Inn

11. **The Bull Inn** is a tall brick former farmhouse at the centre of the village. Probably a farmhouse stood on the site of the Bull Inn as far back as 1598. In 1835 beer was served out of a wooden barrel from an opening in the wall, a common practice and one that usually led to the building becoming an Inn. For some time it was run as both farm and Inn but it was sold as a public house in 1848. At that time it had "kitchens, parlours, eight bedrooms, yard, stabling, barns, garden, orchard and paddock". The Bull Inn and the Red Lion before it was demolished, were important venues for village meetings. Local courts, inquests, anniversary dinners, meetings of friendly societies were all held at The Bull. Although a large building, The Bull sits well in its surroundings and the brickwork and window styles reflect those found in many other village properties.



Figure 82 - Orwell House was once a boys' preparatory school

12. **Orwell House** in Lilbourne Road is what remains of a large neo-classical former farmhouse which sometime between 1850 and 1870 was turned into a boys' preparatory school. Orwell Cottage was the sanatorium for the school. The boys came from all over the Empire to prepare for entry into public schools. Two of its pupils who became famous were Douglas Haig (later Lord Haig) and Neville Chamberlain (later MP for Birmingham and Prime Minister). Like The Elms, Orwell House contrasts with its neighbours with its tall storeys accentuated by parapets and its cream rendered walls. Unlike Clifton Manor, hidden by its enclosing wall and trees, Orwell House is highly conspicuous with its gable end wall facing the junction with Robertson Close.



Section Four - Landscape Appraisal

Section Four

Landscape Appraisal

Highlights some of the natural features of
Clifton upon Dunsmore

Clifton upon Dunsmore Village – Landscape Appraisal

General landscape character assessment

The landscape surrounding the village is predominantly agricultural fields, enclosed by hedgerows and mature trees. The village itself is characterised by small-medium sized ornamental broadleaved and coniferous trees and shrubs in private gardens and at the highway edges. These features, glimpsed between buildings, provide important enclosure of space. They contribute to the overall amenity of the village, but are of little value as individuals. They are relatively short-lived and easily replaced and, as such, would not merit statutory protection. General garden management by individual house-owners is sufficient to maintain the amenity of these features.

The village approaches from Hillmorton, Newton and Lilbourne are lined with well-maintained mixed native hedgerows. The hedgerow trees - mostly Ash and Oak - are typically mature/over-mature, and in various states of declining health. Despite their amenity and landscape value they are not considered worthy of Tree Preservation Order (TPO) designation. The best course of action here would be to implement a programme of replacement tree planting (and encourage natural regeneration) within the hedgerows.

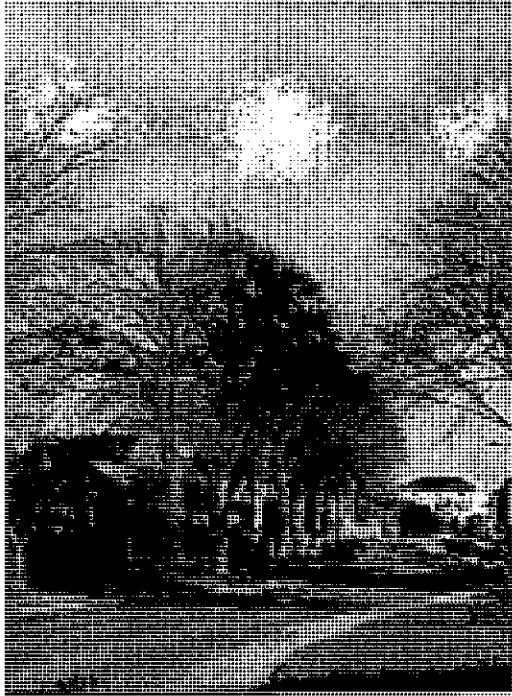
Views into the village from the approaches reveal buildings crowned by the canopies of mature trees. The majority of these trees are already afforded protection under Tree Preservation Orders (e.g. the old Clifton Manor site, The Elms Paddock, Everard Close, etc.)

A number of other trees which make a significant contribution to the character of the village and its approaches, and are important in terms of amenity value, are not currently afforded statutory protection.

Trees identified as being worthy of preservation

- A number of highway trees have been included on the plans for potential Tree Preservation Order (TPO) designation. Whilst it is not usual practice to TPO trees under the management of the Borough or County Council, in some instances (for example where there is a potential threat of future development or change of use of land on which important trees stand), TPO designation can be a useful means of ensuring that environmental issues are fully considered before any decisions are taken.

The three groups of mature Lime trees on the approach to the village along Rugby Road, and several trees on islands and at important road junctions within the village are included in this group.



Lime Trees on Rugby Road



- A number of trees on land in private ownership are considered to be worthy of preservation :-

A group of 3 no. Beech in the grounds of 35 North Road;
 2 no. Beech & 1 no. Lime in the grounds of 42 North Road;
 6 no. Wellingtonia in the grounds of Meranti Lodge and Holly Tree Lodge,
 which form an important enclosing element and focal point at the junction of
 South Road and Hillmorton Lane.



Group of 6 no. Wellingtonia – junction of South Road & Hillmorton Lane

- The centre of Clifton is a designated conservation area. Conservation area status provides blanket protection for most trees. The notification procedure for carrying out works on trees in a conservation area provides the local Planning Authority with an opportunity to assess the potential for TPO designation. There are several trees in the centre of the village (within the designated conservation area) which are considered to be of sufficient merit to justify TPO designation. Whilst they are not under any immediate threat of adverse development or change, it is considered prudent to include these trees within a village TPO.

The three Beech trees at 11-21 North Road are the most obvious candidates here.

- Several other trees in the conservation area, which are considered to be of significant landscape and amenity value, have not been included in the proposed TPO. These trees are situated in the churchyard and the cemetery on Newton Road. Both sites are managed by the Borough or Parish Councils and are generally considered to be in “safe hands”.

The Tree Preservation Order is currently being prepared for discussion by the Parish Council and local residents.

Additional notes :-

- Several of the existing TPOs for Clifton have been in existence for many years, and have experienced much change and development over time. The Orders should be reviewed at the earliest opportunity to establish health, future life expectancy and opportunities for new & replacement planting, etc.

Plans for a comprehensive review of TPOs in the Borough are in progress.

- It is recognised that the small settlement of Dunsmore has an important association with Clifton. There appear to be many large parkland trees in the fields and hedgerows in this part of the parish, which merit further investigation.

It is intended to carry out an inspection of the trees within the grounds of Dunsmore Hall at the earliest opportunity.



Section Five - Overview of The Locks

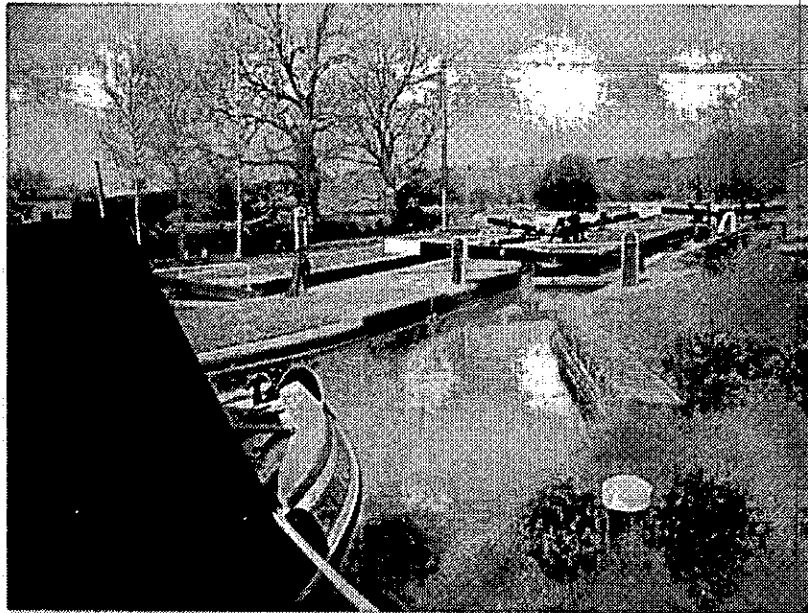


Section Five

Overview of The Locks

Residents at The Locks did not feel able to complete a Design Statement at this time, although we will be supporting them to do so in the future. This overview gives a flavour of this unique and very special area

Overview of The Locks



Hillmorton Bottom Locks

A Short History of The Locks (Morton(e))

(extracted from the Victoria County History and Rev .Wait's Rugby Past and Present)

In prehistoric times a considerable area of land here was covered by water (Kelmash). This became a morass giving the name Moor town to the old village which lay to the west of St John's Church. Early traces of occupation were found in a barrow near the old vicarage.

When the LNW railway was built, ballast taken from near the canal revealed a small earthenware pot of grey clay, diagnosed as Roman.

At the conquest of 1066 Hugh de Grentemaisnil was granted land here by King William. By 1086 the Earls of Mellent were principal landowners and they granted land to the de Astley family for three Knights fees. The de Astleys held land here until 1836 and in 1633 Mary Astley, widow, is recorded as being responsible for the decay of fifteen houses.

Although they were never seen to exist as two separate manors there were two townships Hull (Hill) and Morton (Moor town). Dugdale distinguishes them as Hull "conteyning that part standing on the bank", Morton "where the Church is, that below in a moorish flat ground".

In 1730 Thomas noted "This town (Hillmorton) stood formerly in the bottom nearer the Church than it does now".

Morton or The Locks as it is known today is bordered to the north by Clifton Brook a tributary of the Avon. The ground rises steeply from here to the present village of Hillmorton.

Hillmorton Locks Today

The small settlement called Hillmorton Locks is located on the south-eastern edge of Rugby. Since 1932 with the exception of the Church and the two dwellings sited between the railway and the canal The Locks has been annexed to the civil parish of Clifton-upon-Dunsmore. However the hamlet is situated over a mile from the village of Clifton and the only road access from Clifton to The Locks is via Hillmorton.

The area takes its name from the flight of three paired locks on the Oxford Canal which attract visitors throughout the year to watch the boats working their way up and down the flight. Other visitors come to experience the tranquil beauty of the place or to enjoy a pleasant walk along the towpath.

Scattered around the hamlet are 16 dwellings whose origins vary from 1750 to 2000.

The historic area also includes the thirteenth century Church of St. John the Baptist and the Hillmorton Canal Yard which comprises the original Oxford Canal Company workshops and dry-docks dating back to 1789 and now housing the Hillmorton Boat Services boatyard, the former British Waterways National Support Offices and the British Waterways Hillmorton Maintenance Depot.

The building adjacent to the canal which was originally the British Waterways Section Office has recently been converted into a cafe bistro which attracts many visitors throughout the year. In the summer months visitors can enjoy al fresco meals on the lawn beside the bistro while watching the stream of narrowboats entering and leaving the bottom pair of locks.

The sole vehicular approach to The Locks is a single carriageway road called The Locks which starts at a tunnel under a very high embankment carrying the West Coast Mainline railway from London to Glasgow and cutting the settlement off from the suburban sprawl of Hillmorton and Rugby.

As the road emerges from the tunnel one enters a different world. On the left is the 13th century Church of St. John the Baptist standing amid fields which extend from both sides of the road.

After passing two farmhouses (one set well back from the road within an orchard) the road then crosses the parish boundary and the canal and leads on to the original Oxford Canal Company depot, dry-docks and workshops dating back to 1789 and into the main residential settlement.

The parish boundary follows the line of the towpath hedge dissecting (somewhat illogically) this small compact conservation area and leaving the Church and number 1 The Locks (Church Farm) and number 3 The Locks (formerly the New Inn) in Hillmorton and the other fourteen dwellings in (although remote from) Clifton-upon-Dunsmore.

Settlement Pattern

Within the conservation area there are now six detached properties, six semi-detached properties and four terraced cottages.

The area also includes the British Waterways Hillmorton Maintenance Depot, Hillmorton Boat Services dry-docks and workshops, Tony Redshaw's vintage marine engine workshop and The Pump House Art Gallery.

In the late 1990's British Waterways were granted permission to build an L shaped block of studio units intended for use as canal related craft workshops. Part single storey part two storey, the development was built of red brick with wrought iron detailing to a largely sympathetic design. Unfortunately the development attracted extremely limited short term interest from craftsmen and women and British Waterways subsequently obtained permission for part change of use to offices. However the location lacks the infrastructure necessary for an office development and this transformation is completely out of keeping with the area and has created considerable problems for residents and visitors alike.

The studios currently house:

Cre8 Communications (Graphic Design Studios) in units 1 and 2

Technocraft Boat Services Ltd (Decorative Painting & Signwriting) in unit 3

H & M Bridal Wear Ltd in unit 4,

2D Studio Portraits in unit 6

Classic Upholstery in unit 7

Ruth Lyne (Kiln formed Glass) in unit 8.

Filta Group Ltd (Cooking Oil Filtration & Fryer Management) in units 5, 9, 10 and 11

The former British Waterways Section Office adjacent to the canal was reopened in 1997 first as a shop and then as a shop/café. Following a change of ownership in 2003 it now offers meals to suit all tastes from midmorning to late evening. It is now known as Badseys Café Bistro and was voted Britain's Best Waterside Restaurant in April 2004. Moored alongside is the 1936 72ft Large Woolwich Motor boat Badsey, formerly part of the British Waterways fleet, which is currently undergoing restoration to form the nucleus of the Hillmorton Canal Heritage Society.

Most of the residential properties are cottages and are scattered haphazardly around the hamlet. They are predominately of brick construction but a fair number are rendered and whitewashed. With the exception of the semi-detached pair of tradesmen's cottages beside the Waterways' maintenance yard, they are all of individual design. Well spaced out within the confines of the settlement, never facing one another, they enjoy views over open countryside on all sides.

The numbering of the cottages may appear puzzling to the casual visitor with several numbers "missing". Number 2 used to be situated on the towpath beside the middle locks but was bulldozed several years ago after it became vacant and fell into disrepair. Number 6 no longer exists since the row of three farmworkers' cottages on the opposite side of the middle locks were renovated and converted into two dwellings some twenty years ago. Similarly there is no number 16 as the original terrace of six cottages on the sharp bend in the road has been modernized and converted into four dwellings.

Section Six - Housing Needs Survey

Section Six

Housing Needs Survey

During the project Rugby Borough Council requested that all Parishes should complete a Housing Needs Survey to identify what housing would be required to meet local needs, as opposed to market-driven development. As the first parish to undertake this task we were breaking new ground and worked closely with the Housing and Planning Departments to ensure that we met the standard set down for a Housing Needs Survey.

HOUSING NEEDS SURVEY

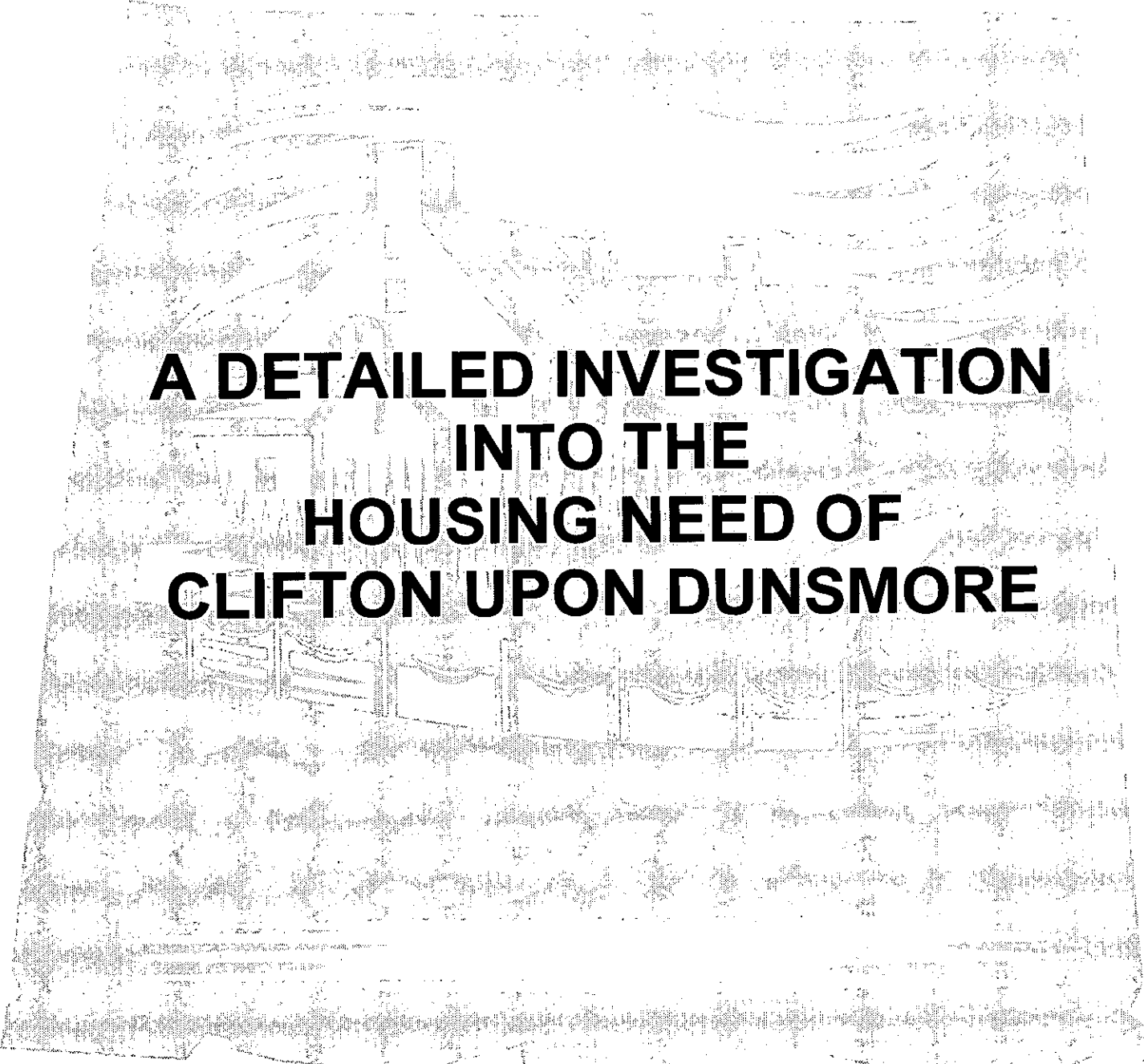
In 2003 Rugby Borough Council (RBC) issued a document: *"Guidance on demonstrating 'Local Need' in relation to providing new housing in rural villages. A guide to accompany Interim Policy R/H5"*. This clearly sets out the framework within which a housing needs survey should be conducted and states that the following elements should be considered:

- Average house prices in the area
- Average incomes in the area
- The availability of suitable properties for first time buyers
- Current private rents
- The type of properties in the area
- The suitability of existing properties and tenures to meet the needs of residents
- The employment status of local residents

These issues have each been addressed in this report. As some of the information required is necessarily, of a confidential nature, Warwickshire Rural Housing Association (WRHA) were appointed as an independent external body to carry out a survey of all residents in the village. A form of questionnaire was agreed between WRHA and RBC and these were circulated to every household in Clifton parish in early January 2004. Residents were asked to return the forms directly to WRHA by 31st January, and freepost envelopes were provided. 184 (33%) forms were returned and the results of that survey follow. According to the RBC rating lists there are 566 dwellings in Clifton parish (including The Locks and outlying areas)

House price values and availability have been drawn from a number of sources as agreed with RBC, and as indicated on the relevant data, shown at appendix 1.

Warwickshire
Rural
Housing
Association



**A DETAILED INVESTIGATION
INTO THE
HOUSING NEED OF
CLIFTON UPON DUNSMORE**

**Produced by
Warwickshire Rural Housing Association
in conjunction with
Clifton upon Dunsmore Parish Council**

February 2004

*Warwickshire
Rural
Housing
Association*



CONTENTS

1. Introduction
2. Purpose of the survey
3. Respondent details
 - Household size of respondents
 - Tenure of all respondents
 - Property type
 - No. of years in the village
 - Desirability
 - Local support
4. Average property prices
5. Housing need analysis
6. Conclusion

1. Introduction

Warwickshire Rural Housing Association is a preferred partner Association of Rugby Borough Council, with the specific remit for working with Parish Councils to identify local housing needs. In this respect, the Association has been working with the Parish Council for the village of Clifton upon Dunsmore.

In this time we have conducted a detailed housing need survey which identified a need for 7 dwellings to meet the needs of local people. In addition, the survey also confirmed that there was support from the community for a small affordable housing scheme to meet these needs.

2. Purpose of the Survey

The survey was conducted in order to obtain clear evidence of the housing need in the parish of Clifton upon Dunsmore. This evidence can then be used to inform the Borough Housing Strategy and provide clarity on what type and tenure of housing is required to meet local needs.

One option for meeting a village's housing need is through the construction of a purpose-built affordable housing development using the "exceptions" criteria set out in Planning Policy Guidance Note 3 (Housing). However, to do this there must be accurate details of the village housing need, and in this respect the survey is the most accurate and accepted method.

In addition, the information can be used positively in the planning process in that it provides a foundation on which to negotiate "planning gain" opportunities with developers. In short, it gives the planners evidence which can be used to obtain an element of "local needs" housing in negotiations with house builders, should such possibilities arise in the village.

The information obtained from such a survey is also invaluable at the local level, particularly in relation to the Parish Council's activities. Such information can be acted upon locally and taken on board in the decision making process when housing issues arise.

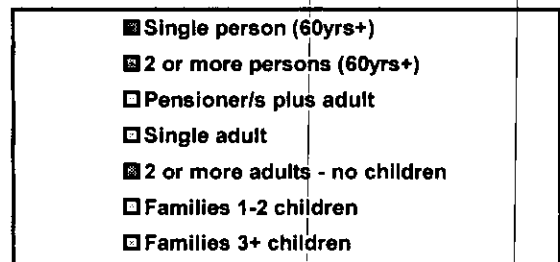
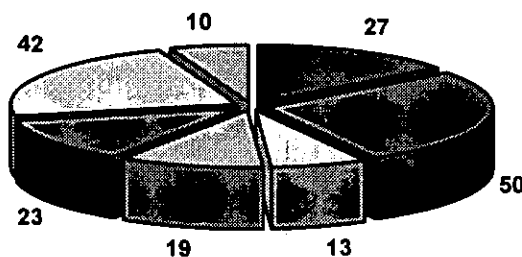
Indeed, if anything is to be done about the local needs of the village, support at the local level is vital before anything can be done to address it.

3. Respondent details

A total of 184 survey forms were received, giving a return rate of approximately 33%. This is a good level of response when considering that only people who have a housing need, or who are interested in a local needs development, are requested to respond.

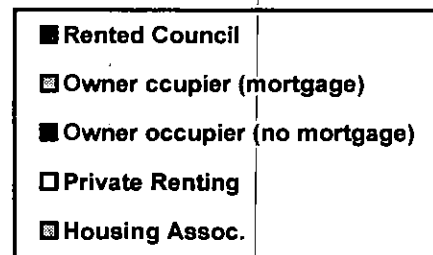
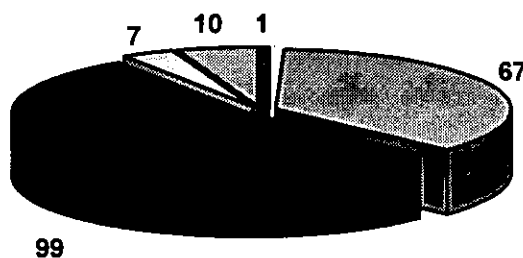
i) HOUSEHOLD SIZE OF RESPONDENTS

There was a good mix in terms of household sizes. As can be seen from the chart below there was a large response from people over 60 years of age accounting for almost 42%.



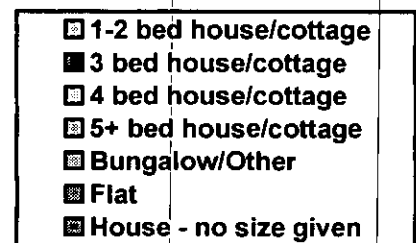
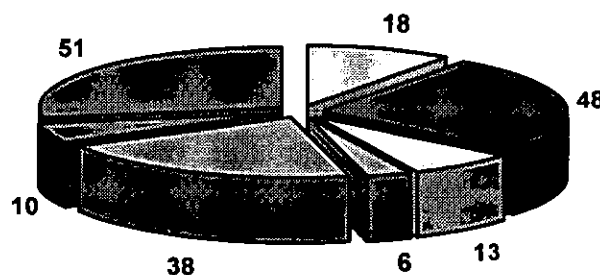
ii) Tenure of all Respondents

The current household tenure of respondents is given in the table below. It is easy to see that owner occupiers were by far the largest tenure group accounting for almost 89%, with the larger percentage of these being from residents who do not have an outstanding mortgage.



iii) Property Types

The following chart details the types of property that respondents currently reside in.



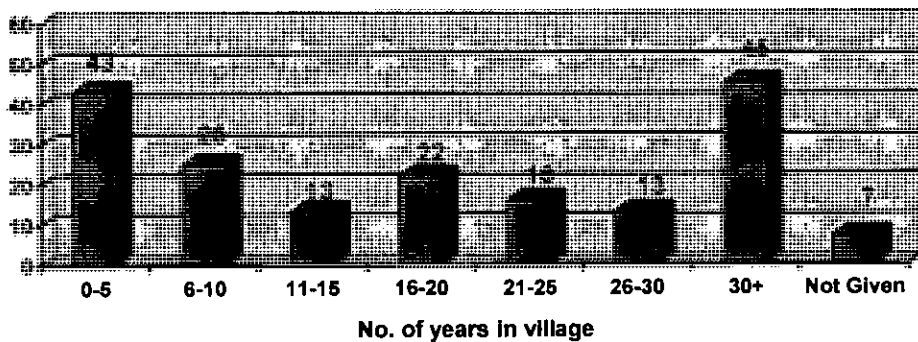
From this chart we can conclude that there is a variety of houses represented within the village. This includes smaller 1 - 2 bedroom houses, going through to 5 + bedroom dwellings, and also a variety of bungalow accommodation.

iv) Local Connection

Primarily the survey forms are delivered to properties within the village, but the questionnaire is also directed at people who may not currently be resident but who have a close connection to the parish. On this occasion there were no returns from individuals who identified a need to return to the village to be close to parents/children to offer and/or receive support. All the respondents who highlighted a need were currently residing in the village.

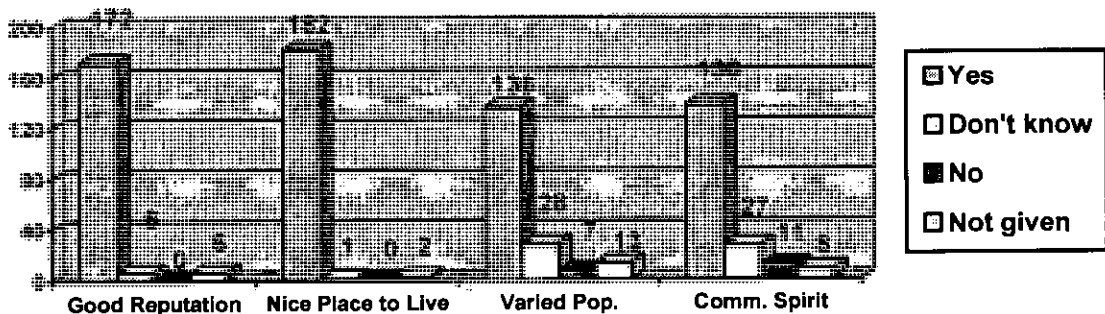
v) Period of Residence

The table below gives the number of years that respondents have lived in the parish of Clifton upon Dunsmore. From this table we see that there has been a large percentage of people who have recently moved into the village.

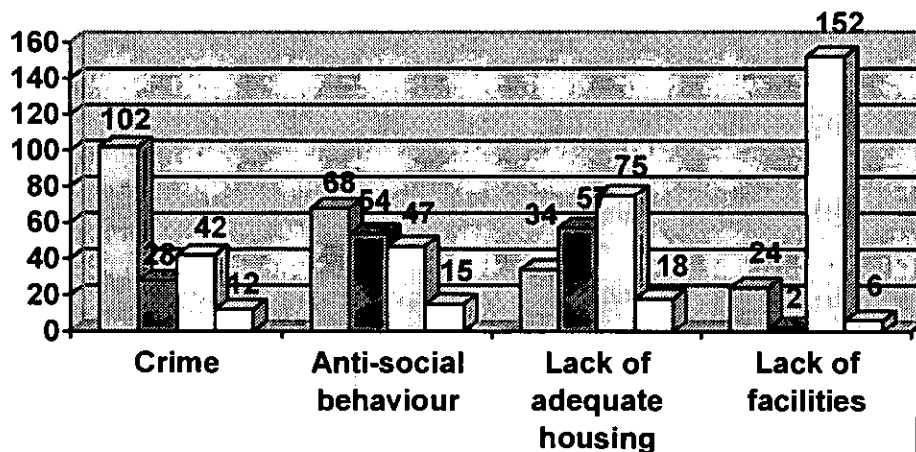


vi) Desirability (Sustainability)

The following two charts detail respondents' answers to the "desirability" questions. The answers to these questions allow us to construct a more detailed picture of the parish. From this we can assess whether any social housing that is subsequently provided in the village will be "sustainable", i.e. that potential current and future applicants will in fact want to take up a tenancy or lease.



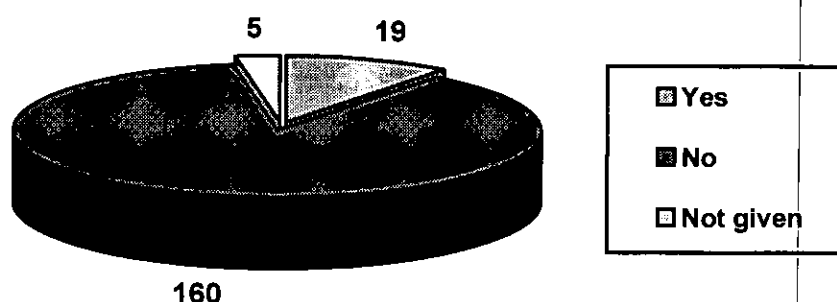
From the above chart it can be seen that the vast majority of residents consider that Clifton upon Dunsmore has a good reputation; is considered a pleasant place to live; has a varied and balanced population and a friendly atmosphere/community spirit.



This second chart shows that a high proportion consider that there is a problem with crime and/or anti-social behaviour, however the majority of respondents feel that there isn't a lack of adequate housing. Finally, the vast majority felt that the village did not suffer with a lack of facilities.

vii) **Migration**

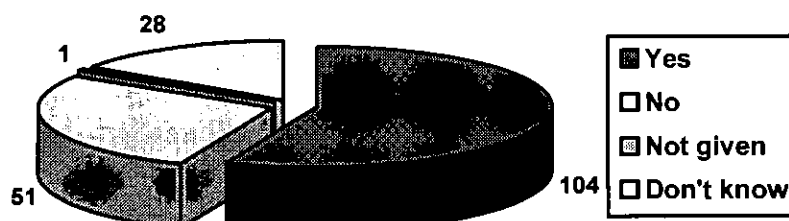
The survey also asked whether respondents knew of people who had had to leave the village because of a lack of suitable, affordable accommodation.



This chart confirms that there have been a number of local people who have been forced to move out the village in order to secure suitable housing at a level that they can afford. However, we must add that this question does not identify those individuals who have been forced to leave, due to confidentiality issues, and a number of the returns may relate to the same individual/s.

viii) Local Support for a Small Housing Development

One of the fundamental questions on the survey is that which asks if there is support for a small local development.



The majority of respondents, just over 56%, would be in favour of affordable housing to be provided.

However, there were a number who were unsure, 16%, and required more details regarding size, positioning and allocation policies etc. before giving a decision.

Clearly, if any further work is undertaken regarding an affordable housing scheme, local consultation should be considered in the first instance in order to address resident's questions and also to allay any concerns that they may have.

5. Housing Need Analysis:

Of the 184 returns, 171 were from people who would be considered as adequately housed and would not be looking to move to alternative accommodation within the next 5 years. These respondents completed a form primarily to offer their support/objection towards a "local" needs housing development as well as to give their comments regarding the "desirability" of Clifton upon Dunsmore. These were therefore discounted from the rest of the analysis. Accordingly, as far as the requirement for affordable housing is concerned there are 13 returns detailing a specific housing need.

The following table lists the responses identifying a housing need, what type of housing they will require, and our assessment of their need:

RESPONDENT	WHAT REQUIRED	ASSESSMENT
Family, private renting. Would like to move closer to work and join property ladder	3 bed house – shared ownership	2 bed house – shared ownership
Young couple, living with parents. Require independence	2 bed house – shared ownership	2 bed house – rent
Single person with children, living with parents, require independence and family support	3 bed house – rent	3 bed house – rent
Single person, private renting, (would not improve current circumstances)	2 bed house – shared ownership	2 bed house/flat – rent

Single elderly person, owner occupier (no mortgage). Current home is too large to maintain	2 bed house – rent	Potential to satisfy own needs through sale of current home
Single person, living with parents, requires independence	2 bed house – shared ownership	2 bed flat – rent
Couple, owner occupier (no mortgage) Current home is too large to maintain	2 bed house/bungalow – rent	Potential to satisfy own needs through sale of current home
Single person, private renting, (would not improve current circumstances)	2 bed house – shared ownership	2 bed house/flat – rent
Single parent, Housing Association rent of First floor flat, requires ground floor accommodation following major operation	2 bed bungalow – shared ownership	2 bed bungalow – rent

3 to 4 Years

RESPONDENT	WHAT REQUIRED	ASSESSMENT
Single person, owner occupier (with mortgage), approaching retirement, current property would become too expensive to maintain	2 bed house – shared ownership/rent	2 bed house/bungalow – rent
Elderly couple, owner occupier (with mortgage), current property is becoming unsuitable due to ill health	2 bed bungalow – shared ownership/rent with mobility facilities	2 bed bungalow – rent with mobility facilities
Single person, living with parents, requires independence	2 bed house – shared ownership	2 bed flat – rent

5 years +

RESPONDENT	WHAT REQUIRED	ASSESSMENT
Single person, owner occupier (with mortgage), approaching retirement, current property would become too expensive to maintain	2 bed Bungalow/flat – shared ownership/rent	2 bed bungalow – shared ownership

6. Conclusion

Warwickshire Rural Housing Association, in partnership with Clifton upon Dunsmore Parish Council, has conducted a detailed study of the housing need of the village. This study has not only investigated the actual housing need of Clifton upon Dunsmore, but has also ascertained residents views with regard to living in the village, as well as identifying local support for a development to meet local needs.

The findings of the previous survey confirmed a requirement for:

1 x 2 bedroom house for shared ownership purchase

- 1 x 2 bedroom house for rent**
- 1 x 3 bedroom house for rent**
- 1 x 2 bedroom flat for rent**
- 1 x 2 bedroom bungalow for rent**

- 1 x 2 bedroom flat for rent**
- 2 x 2 bedroom bungalow for rent**

However, with this type of housing need survey we would apply a discounting factor. This is to take into account that during the time it would take to develop a scheme some respondents will have to satisfy their own housing needs. For this level of need we would apply a discounting factor. The need highlighted for a shared ownership property is identified as the minimum number required and therefore no discount factor is applied to that unit. and the suggested housing mix required would be:

1 x 2 bedroom house for shared ownership purchase

- 1 x 2 bedroom house for rent**
- 1 x 3 bedroom house for rent**
- 2 x 2 bedroom flat for rent**
- 2 x 2 bedroom bungalow for rent**

Appendix 1

- **Properties available in Clifton Week 3 of February 2004**
- **Rented housing stock in Clifton**
- **Approved and proposed new build properties in Clifton**
- **House price values in Clifton**

**PROPERTIES AVAILABLE IN CLIFTON
WEEK 3 OF FEBRUARY 2004**

Agent	Location	Type	Bedrooms	Cost	Tenure
Newmans	Church Street	Cottage	2	£144,950	Freehold
Newmans	Vicarage Hill	House	4	£379,950	Freehold
Greenwood	Hadfield Close	Mews House	3	£595/month	Rent
Greenwood	Vicarage Hill	Terrace House	2	500/month	Rent

RENTED HOUSING STOCK IN CLIFTON

Owner	Type
Parish Houses Charity Housing Association (Charity)	8 houses (see below)
Marriott's Almshouses (Charity)	2 houses
Total no. privately rented properties	Not known
Orbit Housing Association	30 x 1 & 2-bedroom flats 14 x 3-bedroom houses
Rugby Borough Council	2 x 2-bedroom houses 10 x 3-bedroom houses

**APPROVED AND PROPOSED NEW BUILD
PROPERTIES IN CLIFTON**

Location	Type	Tenure
Off South Road	3 x 4-bedroom detached houses	Freehold
Off South Road	8 flats	Rent (Parish Houses Charity Housing Association)
Off South Road	1 x 4-bedroom detached house	Freehold (planning application stage only)
Off South Road	1 x 3-bedroom bungalow	Freehold
Between Main St and North Road	4 x 4/5 bedroom detached houses	Freehold (planning application stage only)
Main Street	Accommodation for 6 single people at the Elms Nursing Home	Rent (Nursing Home)

HOUSE PRICE VALUES IN CLIFTON

Tax Band	No of properties		Q3 1988 rateable value	Q4 2003 West Midlands Value *	Q4 2003 UK Value *
A	53	up to	£40,000	£101,318	£98,545
B	105		£52,000	£131,714	£128,109
C	155		£68,000	£172,241	£167,527
D	99		£88,000	£222,901	£216,799
E	60		£120,000	£303,955	£295,635
F	48		£160,000	£405,274	£394,181
G	40		£320,000	£810,548	£788,361
H	7	Over	£320,000	£810,548	£788,361

	Q4 2003 West Midlands Value *	Q4 2003 UK Value *
Average House price in Clifton	£253,528	£208,735
Lower Quartile value	£131,714	£128,109

* Calculated using information from Nationwide Building Society website www.nationwide.co.uk/hpi



Section Seven - Parish Directory

Section Seven

Parish Directory and Business Directory

It became apparent that many residents, particularly those who had moved in recently, were unaware of the wealth of activities that take place in Clifton, or the organisations that run them. This Directory aims to make this information available to all and to encourage wider participation in village life.

PARISH DIRECTORY

Clifton Neighbourhood Watch

Meets: Quarterly - Wednesday evenings at 8 pm.

Meets at: Townsend Memorial Hall

Purpose: To encourage residents in Clifton to assist the Police in eliminating crime

Chairman

Steve Woodford
37 Shuttleworth Road
Clifton upon Dunsmore
Rugby CV23 0DB
Telephone: 01788 561996
Email: stevepenny.woodford@btopenworld.com

Secretary:

David Swan
7 Avon Street
Clifton upon Dunsmore
Rugby CV23 0DQ
Telephone: 01788 568119

Clifton over 60 Club

Meets: Alternate Wednesdays from 2.30 to 4 pm.

Meets at: Townsend Memorial Hall

Purpose: To offer a social time for older people

Chairperson and Secretary

Mrs Mary Willis
7 Orwell Close
Clifton upon Dunsmore
Rugby CV23 0DA
Telephone: 01788 565684

Clifton Parent and Toddler Group

Meets: Wednesday 10 am - 11.30 am

Meets at: Townsend Memorial Hall

Purpose: For Mums/Carers and children to socialise

Chairperson:

Sarissa Cook
Ashleigh
Manor Lane
Clifton upon Dunsmore
Rugby CV23 0BS
Telephone: 01788 541185
Email: farmercook@aol.com

Secretary:

Penny Farmer
4 Robertson Close
Clifton upon Dunsmore
Rugby CV23 0DJ
Telephone: 01788 536741
Email: pennyf70@aol.com

Treasurer:

Elaine Gall
23 Hadfield Close
Clifton upon Dunsmore
Rugby CV23 0DL
Telephone: 01788 561052
Email: elaine.gall@btinternet.com

Clifton Play Group

Charity no. 1033683

Sessions: Mon – Fri Pre-School 9:15 – 11:45 am
2½ - 3 yrs old 1 – 3 pm

Meets at: Playgroup Hut

Purpose: Provide education centred around play for children from 2½ years until the end of their pre-school year. We are a committee-lead/managed charity with parents forming the committee.

Trustee

Barbara Spiby
30 South Road
Clifton upon Dunsmore
Rugby CV23 0BY
Telephone: 01788 570190

Clifton Primary School Parent Teacher Association

Chairperson

Alison Bearpark
26 Grendon Drive
Rugby CV21 1UB
Telephone: 01788 570838
Email: ally.bearpark@fsmail.net

Secretary:

Suzanne Polton
11 Helmdon Close
Rugby CV21 1RS
Telephone: 01788 333223
Email: snpolton@ntiworld.com

Treasurer:

Nigel Wome
22 Merlin Close
Rugby CV23 0WH
Telephone: 01788 552949
Email: nigelwome@aol.com

Clifton upon Dunsmore and Newton Parish Magazine

Note: Copy required by 21st of the month.

Editor

Ray Hope
50 North Road
Clifton upon Dunsmore
Rugby CV23 0BN
Telephone: 01788 535021

Clifton upon Dunsmore (C of E) Primary School

Head Teacher

Richard Powell
Clifton upon Dunsmore (C of E) Primary School
Station Road
Clifton upon Dunsmore
Rugby CV23 0BT
Telephone: 01788 542027
Email: admin@cliftonschool.schoolzone.co.uk

Chair of Governors

Sue McKenzie
Lydgate
Vicarage Hill
Clifton upon Dunsmore
Rugby CV23 0DG
Telephone: 01788 576857

Clifton upon Dunsmore Garden Club

Meets: Third Thursday each month 7.30 to 9.30pm but check Parish Noticeboards as some meetings are visits. No regular meetings in Aug. or Dec.

Meets at: Townsend Memorial Hall

Purpose: To promote interest in gardening and countryside topics

Chairperson, Secretary, Treasurer:

No information given

Clifton upon Dunsmore Lawn Tennis Club

Meets: Tuesday and Thursday evenings at 6.30 pm during the season

Meets at: Clifton Playing Field, South Rd

Purpose: To promote tennis within Clifton & elsewhere. Membership is open to all members of the community at the committee's discretion

Chairperson

George Sowerby
22 North Road
Clifton upon Dunsmore
Rugby CV23 0BW
Telephone: 01788 576050

Secretary: Phil Outeridge

Treasurer: Clive Toll

Clifton upon Dunsmore Local History Group

Meets: First Thursday of each month (there is no meeting in August) at 7.30pm. Speakers arranged for Feb, April, June, Sept and Nove and open to the public. Details in Parish Magazine

Meets at: Townsend Memorial Hall

Purpose: The Group collects and studies local history and publishes its research. Membership is open to anyone interested in the Group's work. The annual membership is £6. The Group is affiliated to, and financially supported by, the Rugby Community Education Council.

Chairperson

Dr. David Collins
6 Lavender Close
Rugby CV23 0XB
Telephone: 01788 562015
Email: drdrcollins@aol.com

Secretary:

David Swan
7 Avon Street
Clifton upon Dunsmore
Rugby CV23 0DQ
Telephone: 01788 568119

Clifton upon Dunsmore Parish Council

Meets: Clifton Parish Council meets at 7.30 pm on the first Monday of each month except August. Additional meetings are held as required.

Meets at: Townsend Memorial Hall

Purpose: Members of the public are welcome to attend the meetings and are given an opportunity to speak during the Open Forum.

Clerk:

Wendy Martin-Flaven
79 Victoria Street
Rugby CV21 2HW
Telephone: 01788 332552
Email: wmartin-flaven@ntlworld.com

Parish Councillors**Chairman**

Cllr. Lynda Palmer
Sunnyside
9 Main Street
Clifton upon Dunsmore
Rugby CV23 0BH
Telephone: 01788 573596

Vice-Chairman

Cllr. Parry Walters
Manor Farm
Buckwell Lane
Clifton upon Dunsmore
Rugby CV23 0BJ
Telephone: 01788 544016

Cllr. Vincent Davies
Dunsmore Lodge
Lilbourne Road
Clifton upon Dunsmore
Rugby CV23 0BB
Telephone: 01788 565662

Cllr. John Kennedy
7 Newall Close
Clifton upon Dunsmore
Rugby CV23 0DF
Telephone: 01788 546272

Cllr. Faith Matthews
The Old Hall
Lilbourne Road
Clifton upon Dunsmore
Rugby CV23 0BD
Telephone: 01788 565166

Cllr. Cris Palmer
The Old Vicarage
Manor Lane
Clifton upon Dunsmore
Rugby CV23 0BS
Telephone: 01788 573338

Cllr. Howard Smith
38 South Road
Clifton upon Dunsmore
Rugby CV23 0BZ
Telephone: 01788 571321

Clifton upon Dunsmore Women's Institute

Charity no. 102714

Meets: 2nd Thursday of each month at 7.30 pm

Meets at: Townsend Memorial Hall

Purpose: A lively women's group of all ages. Monthly speakers on various topics followed by delicious refreshments

Chairperson

Mrs Alison Wilson
Brambles
3 Hawthorn Way, Bilton Lane
Bilton
Rugby CV22 7LS
Telephone: 01788 522092
Email: alison@wilson032.freeserve.co.uk

Secretary:

Mrs V J Adams
13 Shuttleworth Road
Clifton upon Dunsmore
Rugby CV23 0DB
Telephone: 01788 578737

Treasurer:

Mrs J Donner
2 Goodacre Close
Clifton upon Dunsmore
Rugby CV23 0ES
Telephone: 01788 560243

Clifton Welfare Trust

Charity no. 204853

Meets: Twice yearly or as required

Meets at: Townsend Memorial Hall

Purpose: To assist persons in condition of hardship or distress or when urgent funds would be beneficial

Clerk to Trustees

David Swan
7 Avon Street
Clifton upon Dunsmore
Rugby CV23 0DQ
Telephone: 01788 568119

Hillmorton Canal Heritage Society

Meets: 1st Wednesday of each month at 7pm

Meets at: Badseys Café Bistro, The Locks

Purpose: To record & publish the history of the boats & the people who lived & worked around Hillmorton associated with the Oxford Canal & to create an educational resource for organised visits by community groups.

Chairperson

Ian Lauder
Badseys Café Bistro
The Locks
Hillmorton
Rugby CV21 4PP
Telephone: 01788 553562
Email: canalchef@aol.com

Vice-Chairman:

Tony Miles

Hon. President

Rene James

Hillmorton Locks Residents Association

Meets: Business Meetings - Quarterly or as required (usually at 7.30 pm on a Monday) Social Activities - by arrangement

Meets at: 10 The Locks, Hillmorton

Purpose: To protect the interests of the residents by monitoring any activity which affects the conservation area with particular reference to British Waterways and the Bt Mast Site. To promote community spirit.

Chairperson

Jeremy Canney
10 The Locks
Hillmorton
Rugby CV21 4PP
Telephone: 01788 536002
Email: jeremy.canney@tiscali.co.uk

Secretary:

Mike Aspelung
12 The Locks
Hillmorton
Rugby CV21 4PP
Telephone: 01788 576993
Email: Aspelings@aol.com

J.A.M. Club (Jesus and Me)

Meets: Tuesdays from 4.30 to 5.30 pm in term time

Meets at: Newton Village Hall - this club is for Clifton and Newton children. It is held in Newton as it is cheaper to hire the hall and we can also keep a small box of equipment in the venue.

Purpose: An after school Christian activity group for children aged 4 - 8 years or Years 1 - 3. It is for children from Clifton, Brownsover and Newton and has a Christian base to extend the Christian teaching in Clifton Primary school in fun ways. This involves games, a bible story, drama, craft activities and singing

Leaders:

Sian Kent
Telephone: 01788 860932

Rosemary Preston

32 Newton Lane,
Newton
Rugby CV23 0DX
Telephone: 01788 860375
Email: Preston@fpreston.freeserve.co.uk

Karate Class

Meets: From 6.30 to 7:30 pm

Meets at: Townsend Memorial Hall

Purpose: To learn self-defence and build fitness and confidence

Instructor

Mark Simmonds
55 Manor Road
Rugby CV21 2TG
Telephone: 01788 560920
Email: mark@simmonds8521.freeserve.co.uk

Ladies' Keep Fit Class (Movements to Music)

Meets: Wednesday evenings (in term time) 8pm to 9pm

Meets at: Clifton Primary School

Purpose: The course objective is to maintain and improve overall fitness through movement, exercise and dance, promoting flexibility, coordination and a general feeling of well-being. By a qualified Keep Fit Assoc. Teacher.

Instructor

Nora Sowerby
22 North Road
Clifton upon Dunsmore
Rugby CV23 0BW
Telephone: 01788 576050

Marriott's Almhouses

Charity no. 203117

Purpose: Almhouses for poor women and spinsters resident in the ecclesiastical Parish St. Mary, Clifton upon Dunsmore with St. Michel and All Angels, Brownsover and Newton

Correspondent

Mrs. P. Hammond
51 North Road
Clifton upon Dunsmore
Rugby CV23 0BN

Mobile Library

Meets: The mobile library visits Clifton on alternate Fridays stopping in Avon Street from 9.55 - 10.15 am and The Bull car park from 10.20 - 11.20 am

Monday Art Group

Meets: Monday afternoons from 1 pm to 3 pm

Meets at: Townsend Memorial Hall

Purpose: A group of amateur artists who meet to share their love of painting in various mediums and to offer each other help and support. New members very welcome.

Secretary:

Mrs J Waugh
Telephone: 01788 810546

Treasurer:

Mrs K Stevenson
Telephone: 01788 822161

Parish Houses Charity Housing Association

Charity no. 218376

Purpose: The relief of poverty and/or sickness by the provision of housing accommodation for persons who are inhabitants of Clifton upon Dunsmore

Correspondent:

Elaine Barratt
23 Hadfield Close
Clifton upon Dunsmore
Rugby CV23 0DL

Rugby Advertiser District Diary Correspondent

Purpose: To promote forthcoming events and report on recent village activities. Written contributions welcomed. All proceeds raised are donated to village causes.

Correspondent

Leigh Hunt
18 Hadfield Close
Clifton upon Dunsmore
Rugby CV23 0DL
Telephone: 01788 569398
Email: leighhunt@btinternet.com

Rugby Borough Councillors

Cllr. Hazel Bell
Campani
65 Falstaff Drive
Rugby CV22 6LJ
Telephone: 01788 812103
Email: hazel@bell394.fsnet.co.uk

Cllr. Leigh Hunt
18 Hadfield Close
Clifton upon Dunsmore
Rugby CV23 0DL
Telephone: 01788 569398
Email: leighhunt@btinternet.com

Rugby Bridge Club

Meets: Wednesday 7 pm to 10.15 pm and Saturday 10 am to 12.15 pm

Meets at: Townsend Memorial Hall

Purpose: Bridge Tuition/ Play

Chairman

A. Webb
25 Watts Lane
Hillmorton
Rugby CV21 4PE
Telephone: 01788 573168

Secretary:

C. Rowles
88 Bilton Road
Rugby CV22 7AT
Telephone: 01788 576943

Treasurer:

J. Lord
1 Kay Close
Brownsover
Rugby CV21 1ND
Telephone: 01788 572444

Rugby Miniaturists

Meets: 2nd Tuesday of each month from 7.30 to 9.30 pm

Meets at: Townsend Memorial Hall

Purpose: To create Dolls Houses and Miniatures

Chairperson

Yvonne Rollins
Bridge Cottage
Vicarage Hill
Clifton upon Dunsmore
Rugby CV23 0DG

Secretary:

Joyce Greenwood
85 Gibson Drive
Rugby
CV21 4LJ

Treasurer:

Kate Foster
74 Oxford Street
Rugby CV21 3NE

Rugby Town Junior Football Team

Meets: First Sunday in the month

Meets at: Rugby Workers Club, Oliver St. Junior matches and practices to take place on Clifton Playing Field

Purpose: Junior Football Club

Chairperson

Jamie McGregor
20 Steele Street
Rugby CV22 7BW
Telephone: 01788 330862
Email: james.mcgregor77@ntlworld.com

Secretary:

Brian Crinnigan
13 Percival Road
Hillmorton
Rugby CV22 5JS
Telephone: 01788 547987
Email: info@rugbytownfc.co.uk

Treasurer:

Jayne Crinnigan
13 Percival Road
Hillmorton
Rugby CV22 5JS
Telephone: 01788 547987
Email: info@rugbytownfc.co.uk

St Mary's Church

Meets: Holy Communion(sung) 9.30am 2nd 4th 5th Sundays - Morning Prayer 9.30am 1st 3rd Sundays - Holy Communion(said) 8.00am 3rd Sunday Evening Services 6.00pm 2nd 4th Sundays - Private Prayer 2.30 - 3.30pm Every Wednesday - Junior Church (4-12years) 9.30 Each Sun

Meets at: St Mary's Church

Purpose: To Worship God and his son Jesus Christ. To promote the love of God through Christian teachings.

Curate in Charge

Rev. Pam Gould
19 Church Road
Church Lawford
Nr. Rugby CV23 9EG
Telephone: 02476 545745

Church Warden

Mrs C Hammond
51 North Road
Clifton upon Dunsmore
Rugby CV23 0BN
Telephone: 01788 576711

St.Mary's Clifton Bellringers

Meets: For ringing before Services on Sundays and 7.30 - 9.00 pm Every Wednesday for practice

Meets at: St Mary's Church

Purpose: To ring church bells to proclaim the message of the Church

Tower Captain

Robin Guy
Dunsmore Hall Farm
Lilbourne Road
Clifton upon Dunsmore
Rugby CV23 0BB
Telephone: 01788 543656

SCREAM

Meets: Tuesday evenings - 6.15 - 7.15pm term time

Meets at: Newton Village Hall

Purpose: To be an evening club where children (8 - 11s) can be made welcome to have fun together, whilst learning more about Christianity

Leaders

James Simister
St.Andrews Church House
Church Walk
Rugby
Telephone: 01788 552375
Email: James1@fish.co.uk

Michelle Bunyard

Email: michelle@pixelsrus.com

Townlands Charity

Charity no. 202525

Purpose: Equal amount to general benefit of poor persons and Clifton Parochial Church Council

Correspondent:

Daphne Allan
74 South Road
Clifton upon Dunsmore
Rugby CV23 9BZ

Townsend Memorial Hall (The Village Hall and Cottage)

Charity no. 228878

Meets: Usually every other month

Meets at: Townsend Memorial Hall

Purpose: Provision and maintenance of a village hall

Caretaker

Gloria Malin
46 Main Street
Clifton upon Dunsmore
Rugby CV23 0BH
Telephone: 01788 577994

Village Website -

www.cliftonandnewton.org.uk

Purpose: Website for Clifton and Newton to provide information and views

Webmaster

Rachel Palmer
The Old Vicarage
Manor Lane
Clifton upon Dunsmore
Rugby CV23 0BS
Telephone: 01788 573338
Email: cliftonandnewton@lycos.co.uk

Whist Club

Meets: Monday at 7 pm

Meets at: Townsend Memorial Hall

Purpose: To play Whist

President

M.I. Brockbank

33 Shuttleworth Road

Clifton upon Dunsmore

Rugby CV23 0DB

Telephone: 01788 575427

Yoga Class

Meets: Monday 7.30 - 9pm

Meets at: Townsend Memorial Hall

Purpose: Gentle exercise and relaxation to calm stressful lives

Instructor

Mrs Chris Reid

1 Highlands Drive

Daventry NN11 5ST

Telephone: 01327 878194

Warwickshire County Councillor

Cllr. Phillip Morris-Jones

46 Lutterworth Road

Pailton

Rugby CV23 0QE

Telephone: 01788 832965 (Evenings)

Email: phillip@redhouseuk.com

BUSINESS DIRECTORY

A. H. ELLIOTT **PLUMBING AND HEATING**

FREE ESTIMATES

INDUSTRIAL AND DOMESTIC WORK

ALL WORKMANSHIP GUARANTEED

TELEPHONE: 01788 543808

**5 NORTH ROAD, CLIFTON-UPON-DUNSMORE,
RUGBY. WARWICKSHIRE. CV23 0BW**

A H Elliott Plumbing

5 North Road
Clifton upon Dunsmore
Rugby CV23 0BW
Telephone: 01788 543808
Email: abelliott@btopenworld.com
Contact: Albert Elliott
Nature of Business: All plumbing and heating requirements

Badseys Cafe Bistro

The Lock Stop
The Locks
Hillmorton
Rugby CV21 4PP
Telephone: 01788 553562
Email: canalchef@aol.com
Contact: Ian & Lesley Lauder
Nature of Business: Open Wednesday to Sunday.
Cafe Menu 11am to 2pm. Tea Menu to 5pm. Bistro
Menu 6 to 11pm. Licensed.

Bull Inn

33-35 Main Street
Clifton upon Dunsmore
Rugby CV23 0BH
Telephone: 01788 552237
Fax: 01788 540601
Email: t.corrigan@virgin.net
Contact: Tom Corrigan
Nature of Business: Family pub serving good food.
Weekly quiz nights and special evenings including,
karaoke, music and much more. Childrens play area.

Classic Upholstery

Studio 7
The Locks
Hillmorton
Rugby CV21 4PP
Telephone: 01788 573917
Contact: David Hall
Nature of Business: Reupholstery and Upholstery
Repairs including Cushion Interiors, Caravan and Boat
Cushions, Antique and modern Furniture

Clifton Cruisers Ltd

Clifton Wharf
Vicarage Hill
Clifton upon Dunsmore
Rugby
Telephone: 01788 543570
Fax: 01788 579799
Email: info@cliftoncruisers.com
Contact: Martin Wright
Nature of Business: Hiring on narrowboats for canal
holidays. Building/fitting out of narrowboats. Repairs
and maintenance of narrowboats, engines etc

Clifton Hair Studio

34 Main Street
Clifton upon Dunsmore
Rugby CV23 0BH
Telephone: 01788 565800
Contact: Mrs. J. Davies
Nature of Business: Ladies and gents hairdressing

Clifton Post Office/Newsagents

42 Main Street
Clifton upon Dunsmore
Rugby CV23 0BH
Telephone: 01788 546241
Contact: Patricia MacFarlane
Nature of Business: Post Office/Newsagents. Wide range Stationery, Handcrafted Cards, Leather Handbags, Purses, Toys, Novelty Tea Towels, Aprons. Competitive Prices.

Clifton Stores

Main Street
Clifton upon Dunsmore
Rugby CV23 0BH
Telephone: 01788 547275
Contact: Phil Bianco
Nature of Business: Open 8-8 Mon-Sat. 10-2 Sun. Off-licence, foodstores and lottery. Wide range of goods at reasonable prices.

Cre8 Communications Ltd

Studios 1 & 2
The Locks
Hillmorton
Rugby CV21 4PP
Telephone: 01788 569188
Fax: 01788 576767
Email: info@cre8communications.co.uk
Contact: Dawn & Hamilton
Nature of Business: Design, Print, New Media, Promo and T-Shirt Printing

David Smith Horologist

Kingston Garth
Hillmorton Lane
Clifton upon Dunsmore
Rugby CV23 0BE
Telephone: 01788 565078
Fax: 01788 573155
Email: dsmith1257@aol.com
Contact: David Smith
Nature of Business: Clock and watch repair, restorer and conservation. I collect, repair then re-commission the timepiece in your home

Experience Beauty

30 Main Street
Clifton upon Dunsmore
Rugby CV23 0BH
Telephone: 01788 537900
Contact: Jane Mozley
Nature of Business: Manicure, waxing, massage, piercing, facials, electrolysis, eyebrow and lash tint, many more treatments available. Closed Mondays.

Get Ahead Hats

Dunsmore Lodge
Lilbourne Road
Clifton upon Dunsmore
Rugby CV23 0BB
Telephone: 01788 565662
Email: mary@getaheadhats.co.uk
Website: getaheadhats.co.uk
Contact: Mary Davies
Nature of Business: Millinery – Huge range of hats to hire or buy. Hats and feather creations made and coloured to order. The finishing touch.

H & M Bridalwear Ltd

Studio 4
The Locks
Hillmorton
Rugby CV21 4PP
Telephone: 01788 571089
Fax: 01788 571089
Email: heather_pilz2003@yahoo.co.uk
Contact: Heather Pilz
Nature of Business: We hire and sell wedding gowns, bridesmaids gowns, mens suit hire, bridal shoes, accessories and jewellery.

Pinewood Furnishings (formerly Rugby Pine Shop)

40 Main Street
Clifton upon Dunsmore
Rugby CV23 0BH
Telephone: 01788 541700
Nature of Business: Extensive range of pine furniture to suit all pockets! Open 7 days. All credit cards accepted. Discounts given.

Rugby Independent Learning Centre

18 The Locks
Hillmorton
Rugby CV21 4PP
Telephone: 01788 561871
Email: sue.thelocks@tiscali.co.uk
Contact: Sue Woodcock (B.A., P.G.C.E., Dip.Spec.Needs)
Nature of Business: Experienced Teacher offers Maths and English tuition to all ages and abilities. Also diagnostic assessment and exam revision sessions.

Tony Redshaw Vintage Diesels

The Locks
Hillmorton
Rugby CV21 4PP
Telephone: 01788 553417
Fax: 01788 576187
Contact: Tony or Paul
Nature of Business: Specialist Marine Engineers. Factory appointed and approved. Vintage engine overhauls and general engineering work.

Section Eight - Methodology

Section Eight

Methodology

How we did it!

METHODOLOGY

In early 2003 Clifton upon Dunsmore Parish Council agreed to prepare a Parish Plan with funding provided by the Countryside Agency. The project was carried out by a Steering Group comprising local residents and Parish Councillors.

Throughout the project we endeavoured to ensure that all residents of Clifton upon Dunsmore Parish had every opportunity to engage in the consultation process, by whatever means were best suited to their needs.

We were mindful that a Community Plan exists that covering the whole Borough, and we took care to ensure that our consultation was based around the 12 key themes of that plan. This was of great assistance in dealing with the various agencies concerned as we were able to identify Theme Groups and Communities of Interest from Rugby Forward who were able to advise and assist in this project. We worked with the relevant agencies at all stages of this project and sought advice and clarification as necessary.

The table at the end of this section shows the formal process that was undertaken.

Publicity

In addition to the above, considerable publicity was given to the project through other channels. For instance, we received coverage in all local newspapers and on Rugby FM. Monthly updates appeared in the Parish magazine and weekly updates featured in the District Diary section of the Rugby Advertiser. Regular updates also appeared on the village website and in each of these cases residents were invited to participate in the project and were informed how they might do so. The inaugural meeting on May 18th 2003 was publicised with a tour of the village by the Rugby Town Crier.

Steering Group Meetings

Steering Group meetings were held monthly from April to September 2003 and twice-monthly from then until October 2004. All meetings were widely publicised and held in public, with an open forum for the public to participate.

This project was the biggest consultation exercise that has ever been carried out in Clifton upon Dunsmore Parish and every resident has been given full information on the project's progress and every opportunity to contribute.

Clifton upon Dunsmore Parish Council

The project was run by the Steering Group on behalf of Clifton upon Dunsmore Parish Council. Two members of the Parish Council were members of the Steering Group whilst other Parish Council members also attended meetings. A report was given during the open forum held at the beginning of every Parish Council meeting and the project was a regular agenda item and discussed at each meeting.

Timeline

w/e 3 rd May 2003	Flyer delivered to every household in the Parish regarding meeting on 18 th May. Information also placed on all notice boards throughout Parish.
18 th May	Preliminary meeting and Exhibition of Parish Plans from other areas held in St. Mary's Church. Speakers explained the background to Parish Plans, how they fit into the planning system and what funding was available. Attendees were then asked to use post-its to make their own comments about items that concerned them under the headings of the 12 key themes.
July	Newsletter distributed to every household in Clifton upon Dunsmore Parish explaining what a Parish plan is, who was carrying it out, how to get involved, and reporting on the preliminary meeting, funding information, contact details for Steering Group members and a list of the key themes.
1 st July	Posters displayed prominently around village regarding suggestions boxes placed in pub, shop, post office, Bodycraft, hairdressers and church. Also explained about the key themes.
10 th July	Letter sent to all village groups, clubs, organisations etc informing them of the 12 key themes, meeting dates, workshop day and locations of suggestions boxes into which any comments could be placed. Information also placed on all notice boards throughout Parish.
w/e 30 th August	Flyer delivered to every household in the Parish regarding Research Day on 13 th September. Information also placed on all notice boards throughout Parish.
September	Newsletter distributed to every household in Clifton upon Dunsmore Parish explaining what activity had taken place to date, details of the Research Day, Key themes, Steering Group members' contact details.
13 th September	Parish Plan Research day. Attendees were informed about the background to Parish plans, how they had been compiled and used in other areas, and the progress to date on the Clifton upon Dunsmore project. People were then split into groups and walked designated areas of the village taking photographs and noting what they did or did not like about buildings, street scenes and features. After lunch they marked up the photographs and pasted them onto large sheets so that others could make their own comments. Attendees also invited to make more general comments under the headings of the 12 key themes.
w/e 27 th September	Flyer delivered to every household in the Parish regarding exhibition on 9 th October. Information also placed on all notice boards throughout Parish.
9 th October	Exhibition in Townsend Memorial Hall showing all responses, photographs and comments with an invitation for residents to have their final say prior to preparation of the draft plan. Over 800 individual responses received up to this point.
October/November	Responses collated and data utilised to devise Village Appraisal questionnaire, using specialist software created by Cheltenham College. Agencies' advice also sought on the best way to phrase questions in order to obtain useable data.

November	Village Appraisal questionnaires delivered to every household in Clifton upon Dunsmore Parish. Entry into £100 prize draw offered to those with forms ready for collection or returned to Clifton Post Office by 24 th November. Collectors called at each house twice to collect forms. 336 household forms returned, with responses from 665 people in total (59%).
November	Discussions with Rugby Borough Council and Warwickshire Rural Housing Association to agree a form that could be sent out to all households to collect information for a Housing Needs Survey that would meet the guidelines issued by RBC to accompany Interim Policy RH/5.
December	Village Appraisal results analysed by professional company, using the same software that produced the questionnaire. Report produced showing total number of responses to each option and percentage for each. Graphs also produced for each question.
January 2004	Newsletter distributed to every household in Clifton upon Dunsmore Parish explaining that that month's key activity was to carry out a Housing Needs Survey, and what this entailed (with emphasis on confidentiality). Also contained request for more coordinators for Neighbourhood Watch (as identified in Appraisal report), activity roundup, information about the village appraisal report, requests for information for the Parish directory (a need for which was identified in the appraisal), the next steps, future meetings and Steering Group members' contact details.
w/e January 10 th	Housing Needs Survey forms distributed. As some of the information required was necessarily, of a confidential nature, Warwickshire Rural Housing Association (WRHA) were appointed as an independent external body to carry out a survey of all residents in the village. A form of questionnaire had been agreed between WRHA and RBC and these were circulated to every household in Clifton upon Dunsmore. Residents were asked to return the forms directly to WRHA by 31 st January, and freepost envelopes were provided. 184 forms were returned (33%).
January/February	Working with Local Authorities and other agencies to develop Action Plan to tackle issues raised in key themes consultations.
w/e February 14 th	Flyer delivered to every household in the Parish regarding exhibition on 21 st February. Information also placed on all notice boards throughout Parish.
21 st February	Exhibition in Townsend Memorial Hall showing draft Village Design Statement, report from Village Appraisal and other consultation materials. Attendees invited to make final comments prior to Village Design Statement being submitted for adoption.
28 th February	Steering Group members attended Parish Plans event in Harbury. Instead of being beginners, as last year, this time we were asked to speak as experienced Parish Planners!
1 st March	Housing Needs Survey adopted by Clifton upon Dunsmore Parish Council.
w/e April 20 th	Leaflet delivered to every household explaining that Village Design Statement was on display in Clifton Stores and village Post Office. Posters also prominently displayed on all notice boards and in shop, Pub and Post

	Office, and articles in Rugby Advertiser and the Parish Magazine.
20 th April – 16 th May	Village Design Statement on display in shop and Post Office and village website, together with books for final comments and form on website.
25 th April	Personal copy of the Village Design Statement sent to all Parish Councillors with request for final comments before the Parish Council meeting on 4 th May.
May / June	Comments received from Parish Councillors and further liaison with Conservation Officer at Rugby Borough Council.
June / July	Revised personal copy of the Village Design Statement sent to all Parish Councillors, comments received from Parish Councillors and further liaison with Conservation Officer at Rugby Borough Council.
2 nd July	Village Design Statement adopted by Clifton upon Dunsmore Parish Council.
13 th July	Village Design Statement recommended for adoption by Rugby Borough Council Borough Development Panel.
20 th July	Clifton upon Dunsmore Parish Council ratify their adoption of the Village Design Statement.
2 nd August	Village Design Statement adopted as Supplementary Planning Guidance by Rugby Borough Council.
7 th August	Copy of Parish Plan sent to Countryside Agency for comment prior to publication.
6 th September	Clifton upon Dunsmore Parish Council approve printing of Parish Plan document
October	Parish Plan printed and a copy delivered to every household in the Parish.
16 th October	Launch of Parish Plan in the Bull Inn with the Mayor of Rugby, Cllr. Lionel Franklyn
November	Final claim submitted to the Countryside Agency for the balance of the funding

The Parish Plan Project is finally complete!!

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